



Planning & Zoning Commission
Regular Meeting

Wednesday, April 15, 2026, 5:30 PM
City Hall Council Chambers
298 W Washington
Stephenville, Texas 76401

AGENDA

CALL TO ORDER

CITIZENS GENERAL DISCUSSION

APPROVAL OF MINUTES

1. Consider approval of minutes from March 18, 2026

REGULAR AGENDA

2. **Application No.: RZ 2026-9624**

Applicant Tammy Mayo is requesting approval of a rezone of property located at 185 E Park St, Parcel R30317, being BLK 138; LOT 7 of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (B-2), Retail and Commercial, to (R-2.5) Integrated Housing.

3. **Public Hearing**
Application No.: RZ 2026-9624

4. **Application No.: RZ 2026-9624**

Consider approval of a rezone of property located at 185 E Park St, Parcel R30317, being BLK 138; LOT 7 of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (B-2), Retail and Commercial, to (R-2.5) Integrated Housing.

5. **Application No.: RZ 2026-9625**

Applicant Tammy Mayo is requesting approval of a rezone of property located at 195 E Park St, Parcel R30318, being BLK 138; LOT 8 & 9 of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (B-2), Retail and Commercial, to (R-2.5) Integrated Housing.

6. **Public Hearing**
Application No.: RZ 2026-9625

7. **Application No.: RZ 2026-9625**

Consider approval of a rezone of property located at 195 E Park St, Parcel R30318, being BLK 138; LOT 8 & 9 of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (B-2), Retail and Commercial, to (R-2.5) Integrated Housing.

8. **Application No.: RZ 2026-9643 - PULLED**

Applicant Mike McCown, representing C Winsett & Gail Reddoch, is requesting approval of a rezone of property located at 1042 PR 1428 Off Lockhart Rd., Parcel R22359, being approximately 42.750 acres of the A0515 MOTLEY WILLIAM: 2 House & Barns of the City of Stephenville, Erath County, Texas from (AG), Agricultural, to (R-2.5) Integrated Housing.

9. **Public Hearing**

Application No.: RZ 2026-9643 - PULLED

10. **Application No.: RZ 2026-9643 - PULLED**

Consider approval of a rezone of property located at 1042 PR 1428 Off Lockhart Rd., Parcel R22359, being approximately 42.750 acres of the A0515 MOTLEY WILLIAM: 2 House & Barns of the City of Stephenville, Erath County, Texas from (AG), Agricultural, to (R-2.5) Integrated Housing.

11. **Application No.: RZ 2026-9644 - PULLED**

Applicant Mike McCown, representing C Winsett & Gail Reddoch, is requesting approval of a rezone of property located at 1163 PR 1428 Off CR 498, Parcel R22380, being approximately 41.310 acres of the A0515 MOTLEY WILLIAM of the City of Stephenville, Erath County, Texas from (AG), Agricultural, to (R-2.5) Integrated Housing.

12. **Public Hearing**

Application No.: RZ 2026-9644 - PULLED

13. **Application No.: RZ 2026-9644 - PULLED**

Consider approval of a rezone of property located at 1163 PR 1428 Off CR 498, Parcel R22380, being approximately 41.310 acres of the A0515 MOTLEY WILLIAM of the City of Stephenville, Erath County, Texas from (AG), Agricultural, to (R-2.5) Integrated Housing.

14. **Application No.: RZ 2026-9653**

Applicant Venigno Mascorro, is requesting approval of a rezone of property located at 610 Old Granbury Rd., Parcel R25183, being BLK 160; LOT 11 (PT. OF) of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (I), Industrial, to (R-2.5) Integrated Housing.

15. **Public Hearing**

Application No.: RZ 2026-9653

16. **Application No.: RZ 2026-9653**

Consider approval of a rezone of property located at 610 Old Granbury Rd., Parcel R25183, being BLK 160; LOT 11 (PT. OF) of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (I),

Industrial, to (R-2.5) Integrated Housing.

17. **Application No.: 2026**

Consider updating the City's Thoroughfare Plan/Harbin Road Extension.

18. **Public Hearing**

Application No.: Thoroughfare Plan UPDATE 2026

19. **Application No.: Thoroughfare Plan Update 2026**

Provide recommendation regarding an update to the City's Thoroughfare Plan/Harbin Road Extension.

ADJOURN

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.



PLANNING & ZONING COMMISSION

MEETING MINUTES
REGULAR MEETING
MARCH 18, 2026

CALL TO ORDER

The Planning & Zoning Commission of the City of Stephenville, Texas, convened on Wednesday, March 18, 2026, in the City Hall Council Chambers, 298 West Washington Street, for the purpose of a Planning & Zoning Commission Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present to wit:

Commissioner's Present:

Place 1 - Tyler Wright
Place 2 - Justin Slawson
Place 3 - Lisa LaTouche
Place 4 - Lisa Pendleton
Place 5 - Nick Robinson
Place 6 - Bryan Durant
Place 7 - James Stephenson

Commissioners Absent:

None

Others Attending:

Steve Killen, Director of Development Services
Jason King, City Manager
Jan Strahan, Commission Secretary

Commission Chair Lisa LaTouche called the Planning & Zoning Commission to order at 05:30 PM.

CITIZENS GENERAL DISCUSSION

No one addressed the Commission at this time.

APPROVAL OF MINUTES

1. Consider approval of minutes from February 18, 2026

MOTION by Tyler Wright, second by Justin Slawson, to approve February 18, 2026, Meeting Minutes as presented. MOTION CARRIED unanimously.

REGULAR AGENDA

2. **Application No.: RP&RZ 2026-9451**

Applicant Johnny Hopper, representing Park 51, LLC., is requesting approval of a Replat with simultaneous rezoning of a portion of property located at 125 W. Oak Street, Parcel R31420, being approximately 1.00 acres of the S3500 Frey First Addition, BLK. 26; LOT 9 of the City of Stephenville, Erath County, Texas from "I", Industrial, to "R-2.5," Integrated Housing.

City Manager, Jason King briefed the Commission regarding the replat with simultaneous rezoning. Mr. King stated the applicant is requesting a rezone to R-2.5 to allow smaller lot dimensions for the construction of three single-family homes, two fronting Park St., and one fronting Belknap Street. The remainder of the property will keep the existing Industrial Zoning. The replat establishes the appropriate lot dimensions and setback requirements as required for single-family residences; and generally speaking, subject to approval as a minor replat.

3. **Public Hearing** **Application No.: RP & RZ 2026-9451**

Chairperson Lisa LaTouche opened the public hearing at 5:34pm

No one spoke in favor of the replat with simultaneous rezone request

Chairperson Lisa LaTouche closed the public hearing at 5:34pm

4. **Application No.: RP&RZ 2026-9451**

Consider approval of a Replat with simultaneous rezoning of a portion of property located at 125 W. Oak Street, Parcel R31420, being approximately 1.00 acres of the S3500 Frey First Addition, BLK. 26; LOT 9 of the City of Stephenville, Erath County, Texas from "I", Industrial, to "R-2.5," Integrated Housing.

MOTION made by Justin Slawson, second by Nick Robinson to recommend approval of a Replat with simultaneous rezoning of a portion of property located at 125 W. Oak Street, Parcel R31420, being approximately 1.00 acres of the S3500 Frey First Addition, BLK. 26; LOT 9 of the City of Stephenville, Erath County, Texas from "I", Industrial, to "R-2.5," Integrated Housing. MOTION CARRIED unanimously.

5. **Application No.: PD 2026-9361**

Applicant Alex Bryant, representing TSU Catholic, LLC., Barefoot Equity Partners, LLC., and Chris and DeAnne Martinelli, is presenting an updated Development Plan for

property located at 1292 W Washington, Parcel R77944, being BLK. 134, LOTS 12; 18; 30B; 31 (PTS OF), 1334 W Washington, Parcel R30249, being BLK 134, LOT 40, ATM MACHINE, 1350 W Washington, Parcel R30251, being BLK. 134; LOTS 1;5;28, 1245 McNeill, Parcel R30278, being BLK 134, LOT 38A, 1255 McNeill, Parcel 30280, being BLK 134, Lots 38, 1303 McNeill, Parcel R30272, being BLK. 134, LOT 32, 1345 McNeill, Parcel R30271, being BLK. 134; LOT 31 (S150),1353 McNeil, Parcel R30270, being BLK. 134, LOT 30A and 1357 McNeill, Parcel 30269, being BLK 134; south 150 feet of LOT 29 of the CITY ADDITION to the City of Stephenville, Erath County, Texas.

Development Services Director, Steve Killen gave the following report: In 2023, Mr. Thompson presented a Development Plan and a rezone request to Planned Development. The request was granted and ordinance 2023-O-09 was adopted. Updates have been presented to the Commission. Mr. Bryant is now requesting major amendments to the Development Plan and therefore, a new application process is required pursuant to Section 154.08 of the Zoning Ordinance. A conceptual plan was presented to the Commission on December 17, 2025. The applicant is returning for approval of the Development Plan. This Development Plan includes additional parcels to be acquired if the PD is approved. A separate agenda item will consider a recommendation to the City Council to repeal Ordinance 2023-O-09, should a favorable recommendation be offered for the Development Plan.

PLANNED DEVELOPMENT SUMMARY

This PD will be 3.597 acres and result in 271,274 GSF of multifamily and amenity space, 208 units totaling 524 bedrooms and a 5 1/2 story parking garage with 540 gated parking spaces. An additional 64 parking spaces will be available through a joint-access parking agreement, to be executed upon property acquisition. The PD will require certain exceptions, special conditions, restrictions and regulations are requested. Development standards not addressed below shall be regulated by the base zoning district, R-3, Multifamily Residential.

The PD deviations/conditions are summarized below, as provided in the attached project narrative. If not listed, the Developer agrees to meet or exceed city standards. Please reference the Planned Development Standards document for additional details.

<u>Requested</u>	<u>Standard</u>
No retail space	Previous plan was 13K+ sf of retail
57.8 units/ac	24 units/ac
540 parking spaces = 1.03 per bed	786 = 1.5 per bed
64 shared parking spaces	Shared spaces cannot reduce total for all uses
	Shared access agreement must be executed
Communications Tower	
Height = 125'	80' maximum
Setbacks = 0	500' from residential
Chain Link Fencing	NA
No Landscaping	NA
Front Setback = 0'	Front Setback = 25'
Rear Setback = 0'	Rear Setback = 25'
Side setbacks = 10'	Side Setback = 5'

Maximum building height of 62.5'
Signage – Neon, LED and Side Building

Average of plate height and ridge = 35'
Light intensity, number and size limits

Landscape Plan

To exceed coverage requirement
No parking island landscaping
Turn Radii as low as 21'

15% total site with 30% in front.
One every 12 spaces
26' interior

PLANNED DEVELOPMENT SCHEDULE

1. City Council Approval of the Planned Development, Q1-2026.
2. Building Permit application, Summer 2026
3. Project completion, Summer 2028.

STAFF COMMENTS:

The development standards shall apply with exception to any requested deviations as summarized above. Certain modifications to the Preliminary Plat may be required throughout the process – however, no deviation that results in major amendments to the Development Plan may be approved by staff. If major amendments occur, the applicant will be required to resubmit as referenced in Section 8.1.6 below.

The Developer is aware of TxDOT requirements and is working to secure the necessary approvals to complete plan reviews and obtain city authorization for construction of public and private improvements.

Proposed container location approved by Waste Connections – recommend four service dates per week, minimum.

Alex Bryant presented the concept plan and answered the Commissioners' questions.

6. **Public Hearing** **Application No.: PD 2026-9361**

Chairperson Lisa LaTouche opened the public hearing at 5:54pm

No one spoke in favor of the Development Plan

The following people spoke in opposition to the Development Plan:

Tom and Mary April - 1312 W McNeill
Carolyn Reeves - W McNeill

Chairperson Lisa LaTouche closed the public hearing at 6:01pm

7. **Application No.: PD 2026-9361**

Consider approval of the updated Development Plan for property located at 1292 W Washington, Parcel R77944, being BLK. 134, LOTS 12; 18; 30B; 31 (PTS OF), 1334 W Washington, Parcel R30249, being BLK 134, LOT 40, ATM MACHINE, 1350 W Washington, Parcel R30251, being BLK. 134; LOTS 1;5;28, 1245 McNeill, Parcel R30278, being BLK 134, LOT 38A, 1255 McNeill, Parcel 30280, being BLK 134, Lots 38, 1303 McNeill, Parcel R30272, being BLK. 134, LOT 32, 1345 McNeill, Parcel R30271, being BLK. 134; LOT 31 (S150), 1353 McNeil, Parcel R30270, being BLK. 134, LOT 30A and 1357 McNeill, Parcel 30269, being BLK 134; south 150 feet of LOT 29 of the CITY ADDITION to the City of Stephenville, Erath County, Texas.

MOTION made by Nick Robinson, second by James Stephenson to approve the Development Plan for a Planned Development (PD) for property located at 1292 W Washington, Parcel R77944, being BLK. 134, LOTS 12; 18; 30B; 31 (PTS OF), 1334 W Washington, Parcel R30249, being BLK 134, LOT 40, ATM MACHINE, 1350 W Washington, Parcel R30251, being BLK. 134; LOTS 1;5;28, 1245 McNeill, Parcel R30278, being BLK 134, LOT 38A, 1255 McNeill, Parcel 30280, being BLK 134, Lots 38, 1303 McNeill, Parcel R30272, being BLK. 134, LOT 32, 1345 McNeill, Parcel R30271, being BLK. 134; LOT 31 (S150),1353 McNeil, Parcel R30270, being BLK. 134, LOT 30A and 1357 McNeill, Parcel 30269, being BLK 134; south 150 feet of LOT 29 of the CITY ADDITION to the City of Stephenville, Erath County, Texas. With a vote of 6-1, the request moved forward to City Council with a recommendation to approve.

8. **Application No.: REPEAL – 2023-O-09**

Applicant Alex Bryant, representing TSU Catholic, LLC., and Barefoot Equity Partners, LLC., is requesting Ordinance 2023-O-09 be repealed.

Director of Development Services, Steve Killen asked the Commissioners to consider the repeal of Ordinance 2023-O-09.

9. **Public Hearing**
Application No.: REPEAL - 2023-O-09

Chairperson Lisa LaTouche opened the public hearing at 6:07pm.

No one spoke in favor or against the repeal request.

Chairperson Lisa LaTouche closed the public hearing at 6:07pm.

10. **Application No.: REPEAL – 2023-O-09**

Provide recommendation of Ordinance 2023-O-09 to be repealed.

MOTION made by Nick Robinson, second by James Stephenson to repeal Ordinance 2023-O-09. MOTION CARRIED unanimously.

11. **Application No.: PP 2026-9570**

Applicant Malcolm Kanute, representing Rock Creek Property No 1, LLC., is requesting approval of a Preliminary Plat of property located at 0 W. Cedar Street, Parcel R78345, being approximately 49.6 acres of the A0342 H.C. Hudson abstract of the City of

Stephenville, Erath County, Texas.

Development Service Director, Steve Killen provided the following report: The applicant has submitted a Preliminary Plat that has been reviewed by staff. A Final Plat will be submitted to the Commission upon completion and acceptance of public improvements.

Staff is recommending conditional approval of the Preliminary Plat upon completion of the following:

1. The plat must conform to the Subdivision Ordinance upon conclusion of reviews. (Ch. 155).
2. The Preliminary Plat must conform to design requirements and construction standards as set forth in the Engineering Standards Manual.
3. Provide Accompanying Applications as follows:
 - a) Preliminary Drainage Plan
 - b) Preliminary Storm Water Management Plan;
 - c) Preliminary Utility Plan; and
 - d) Acceptable proof of ownership, identifying all persons having an ownership interest in the property subject to the Preliminary Plat.
4. Structures may not be placed over easements.
5. Show and label all existing and proposed easements within and along the entire perimeter of the development. (Sec. 155.6.08).
 - a) Include all applicable statements of restrictions.
 - b) Identify maintenance responsibility (i.e., HOA) for private easements.
 - c) Provide municipal utility easement adjacent to ROW for double check detector assembly vault.
 - d) Provide triangular site visibility easements at intersecting streets.
 - e) Provide retaining wall easements. (Sec. 155.6.08 and 155.6.16)
6. All weather access for Fire Protection must be provided prior to construction.
7. Ensure all required Plat language is provided, include dedication of street statement.
8. This property has split zoning. Any encroachment of residential into the B-2 district will require rezoning.
9. Pay fees.
10. Final Plat to be recorded after acceptance of improvements and floodplain modeling.
11. Provide dimensions of all visibility clips.
12. Provide all turn-radii.
13. Show setbacks for R-1 residential, label lot dimensions in LF.
14. Dedicate ROW for Cedar Street and Harbin – construct improvements.
15. Improve Whitefield to comply with Local Street requirements.
16. Common areas will require the establishment of a Homeowner’s Association.
17. Label drainage easements and landscape buffer as private.
18. If provisions are necessary for drainage facilities on the unplatted future phases, then the replat shall include separate instruments for (public and private easements) off-site drainage needs and shall include appropriate notes and descriptions providing the city the appropriate permissions and approvals needed for access and for maintaining and improving the public drainage system.
19. Show evidence of additional means of ingress and egress to meet Fire Code remote access requirements.
20. Provide signature blocks for City Secretary and Development Services.
21. Ensure all review comments provided by Public Works have been addressed. See attached review dated March 5, 2026.

Taylor Kanute was present and answered Commissioners' questions.

12. **Public Hearing**
Application No.: PP 2026-9570

Chairperson Lisa LaTouche opened the public hearing at 6:22pm

No one spoke in favor of the Preliminary Plat request

The following spoke in opposition:

Jill McAngus - 891 PR 1424
Doreece Howell - 1610 W Cedar
Penny Hampton - 1411 Harpers Mill
Scott Randolph - 1506 Whitefield
Taylor Moore - 1485 Kaylock

Email of opposition received from:

Joan Boucher

Chairperson Lisa LaTouche closed the public hearing at 6:44pm

13. **Application No.: PP 2026-9570**

Consider approval of a Preliminary Plat of property located at 0 W. Cedar Street, Parcel R78345, being approximately 49.6 acres of the A0342 H.C. Hudson abstract of the City of Stephenville, Erath County, Texas.

MOTION made by Nick Robinson, second by Justin Slawson to recommend conditional approval of a Preliminary Plat of property located at 0 W. Cedar Street, Parcel R78345, being approximately 49.6 acres of the A0342 H.C. Hudson abstract of the City of Stephenville, Erath County, Texas. MOTION CARRIED unanimously.

14. **Application No.: PP 2026-9563**

Applicant Jayton Cogburn, representing Jet Worldwide, INC., is requesting approval of a Preliminary Plat of property located at 615 College Farm Rd, Parcel R29924, being BLK 87; LOT 2B of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas.

Development Service Director, Steve Killen provided the following report: The applicant has submitted a Preliminary Plat that has been reviewed by staff. A Final Plat will be submitted to the Commission upon completion and acceptance of public improvements.

Staff is recommending conditional approval of the Preliminary Plat upon completion of the following:

1. The plat must conform to the Subdivision Ordinance upon conclusion of reviews. (Ch. 155).
2. The Preliminary Plat must conform to design requirements and construction standards as set forth in the Engineering Standards Manual.
3. Provide Accompanying Applications as follows:
 - a) Preliminary Drainage Plan
 - b) Preliminary Storm Water Management Plan;
 - c) Preliminary Utility Plan; and
 - d) Acceptable proof of ownership, identifying all persons having an ownership interest in the property subject to the Preliminary Plat.
4. Structures may not be placed over easements.
5. Show and label all existing and proposed easements within and along the entire perimeter of the development. (Sec. 155.6.08).
 - a) Include all applicable statements of restrictions.
 - b) Identify maintenance responsibility (i.e., HOA) for private easements.
 - c) Provide municipal utility easement adjacent to ROW for double check detector assembly vault.
 - d) Provide triangular site visibility easements at intersecting streets.
 - e) Provide retaining wall easements. (Sec. 155.6.08 and 155.6.16)
6. All weather access for Fire Protection must be provided prior to construction.
7. All structures will need to be fire protected with a 13D Sprinkler System if a secondary means on ingress or egress is not provided.
8. Ensure all required Plat language is provided, include dedication of street statement.
9. Pay fees.
10. Final Plat to be recorded after acceptance of improvements and floodplain modeling.
11. Provide dimensions of all visibility clips.
12. Provide all turn-radii including cul-de-sac.
13. Show side and rear setbacks for R-2.5 residential, label lot dimensions in LF.
14. Verify lots 5-9, 17-19, 21, 22, 25, 27, 28 meet minimum building setbacks and lot dimensions at building line.
15. Dedicate additional Right-of- Way as needed for College Farm (50' ROW).
16. Common areas will require the establishment of a Homeowner's Association.
17. Provide signature blocks for City Secretary and Development Services.
18. Verify owner information is correct in dedication.
19. Complete all items listed in the attached Public Works Review dated March 10, 2026.

No one was present for Commissioners' questions.

15. Public Hearing
Application No.: PP 2026-9563

Chairperson Lisa LaTouche opened the public hearing at 6:54pm

No one spoke in favor of the Preliminary Plat request

Ronald and Gisela Gale - 895/905 College Farm Rd, Stephenville, spoke in opposition

Chairperson Lisa LaTouche closed the public hearing at 6:59pm

16. **Application No.: PP 2026-9563**

Consider approval of a Preliminary Plat of property located at 615 College Farm Rd, Parcel R29924, being BLK 87; LOT 2B of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas.

MOTION made by Justin Slawson, second by Nick Robinson to recommend conditional approval of a Preliminary Plat of property located at 615 College Farm Rd, Parcel R29924, being BLK 87; LOT 2B of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas. MOTION CARRIED unanimously.

17. **Application No.: PP 2026-9569**

Applicant Josh Schulik, representing Tekmak Stephenville Hotel, LP, is requesting approval of a Preliminary Plat of property located at 0 S. Harbin Drive, Parcel R30481, being BLK 19; LOT 18; Parcel R33594, being BLK. 19; LOT 17; Parcel R76373, being BLK. 19; LOT 14R of the S6200 SOUTH SIDE ADDITION of the City of Stephenville, Erath County, Texas.

Development Service Director, Steve Killen provided the following report: The applicant has submitted a Preliminary Plat that has been reviewed by staff. A Final Plat will be submitted to the Commission upon completion and acceptance of public improvements.

Staff is recommending conditional approval of the Preliminary Plat upon completion of the following:

1. The plat must conform to the Subdivision Ordinance upon conclusion of reviews. (Ch. 155).
2. The Preliminary Plat must conform to design requirements and construction standards as set forth in the Engineering Standards Manual.
3. Provide Accompanying Applications as follows:
 - a) Preliminary Drainage Plan
 - b) Preliminary Storm Water Management Plan;
 - c) Preliminary Utility Plan; and
 - d) Acceptable proof of ownership, identifying all persons having an ownership interest in the property subject to the Preliminary Plat.
4. Structures may not be placed over easements.
5. Show and label all existing and proposed easements within and along the entire perimeter of the development. (Sec. 155.6.08).
 - a) Include all applicable statements of restrictions.
 - b) Identify maintenance responsibility (i.e., HOA) for private easements.
 - c) Provide municipal utility easement adjacent to ROW for double check detector assembly vault.
 - d) Provide triangular site visibility easements at intersecting streets.
 - e) Provide retaining wall easements. (Sec. 155.6.08 and 155.6.16)
6. All weather access for Fire Protection must be provided prior to construction.

7. Ensure all required Plat language is provided, include dedication of street statement.
8. Pay fees.
9. Final Plat to be recorded after acceptance of improvements and floodplain modeling.
10. Dedicate additional Right-of-Way as needed for Harbin Drive (100' ROW).
11. Provide setbacks for Industrial zoning.
12. Ensure all review comments provided by Public Works have been addressed. See attached review dated March 10, 2026.

Josh Schulik was present to answer Commissioners' questions.

18. Public Hearing
Application No.: PP2026-9569

Chairperson Lisa LaTouche opened the public hearing at 7:06pm

No one spoke in favor or against the Preliminary Plat request

Chairperson Lisa LaTouche closed the public hearing at 7:06pm

19. Application No.: PP 2026-9569

Consider approval of a Preliminary Plat of property located at 0 S. Harbin Drive, Parcel R30481, being BLK 19; LOT 18; Parcel R33594, being BLK. 19; LOT 17; Parcel R76373, being BLK. 19; LOT 14R of the S6200 SOUTH SIDE ADDITION of the City of Stephenville, Erath County, Texas.

MOTION made by Bryan Durant, second by Tyler Wright to approve a Preliminary Plat of property located at 0 S. Harbin Drive, Parcel R30481, being BLK 19; LOT 18; Parcel R33594, being BLK. 19; LOT 17; Parcel R76373, being BLK. 19; LOT 14R of the S6200 SOUTH SIDE ADDITION of the City of Stephenville, Erath County, Texas. MOTION CARRIED unanimously.

ADJOURN

Chairperson Lisa LaTouche adjourned the meeting at 7:06pm.

APPROVED:

Lisa LaTouche, Chair

ATTEST:

Jan Strahan, Commission Secretary

STAFF REPORT



SUBJECT: Application No.: RZ 2026-9624

Applicant Tammy Mayo is requesting approval of a rezone of property located at 185 E Park St, Parcel R30317, being BLK 138; LOT 7 of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (B-2), Retail and Commercial, to (R-2.5) Integrated Housing.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

To provide the City Council with a recommendation for the rezoning request. Under the Stephenville 2050 Comprehensive Plan, Future Land Use is designated as Complete Neighborhood.

BACKGROUND:

Mr. and Mrs. Mayo are requesting the rezone to allow the construction of single-family residences. If the rezone is approved, the Mayo's will submit a preliminary site-plan for development review. A subsequent replat will likely be presented once development details are determined.

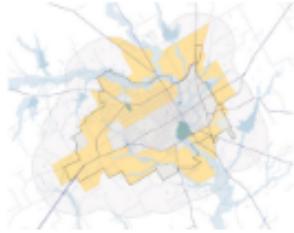
A six-inch and 16" water main as well as a six-inch sanitary sewer main is located in Park St.

The rezone request, if approved, aligns with the Future Land Use designation of "Complete Neighborhood" according to Comprehensive Plan "Stephenville 2050."



Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



Sec. 154.05.8 Integrated housing district (R-2.5).

5.8.A Description. This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well being of the intended district environment. The Integrated Housing District will be applicable to for all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than four individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than four unrelated individuals;
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

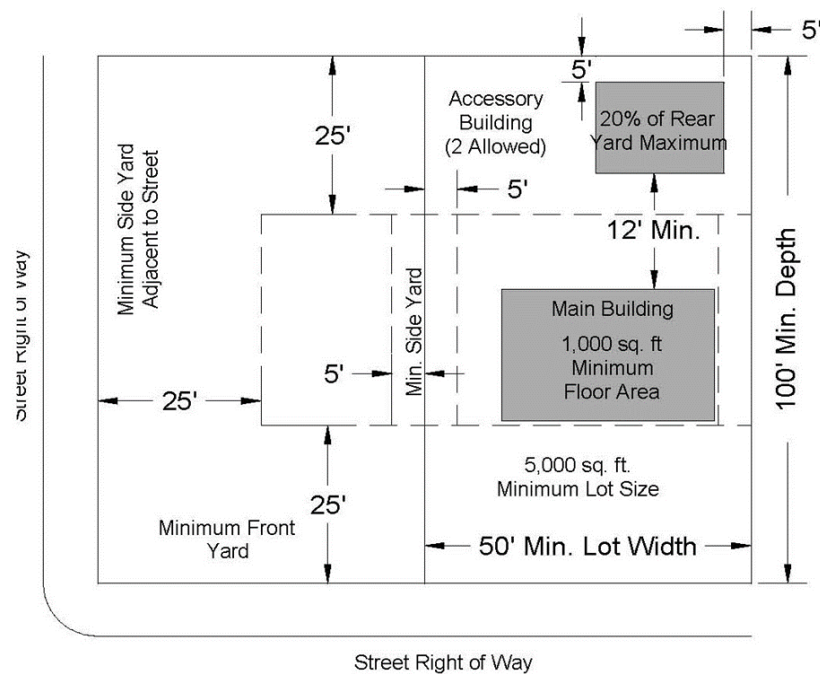
5.8.C Conditional Uses.

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

5.8.D Height, Area, Yard and Lot Coverage Requirements.

- A. Single family dwelling.

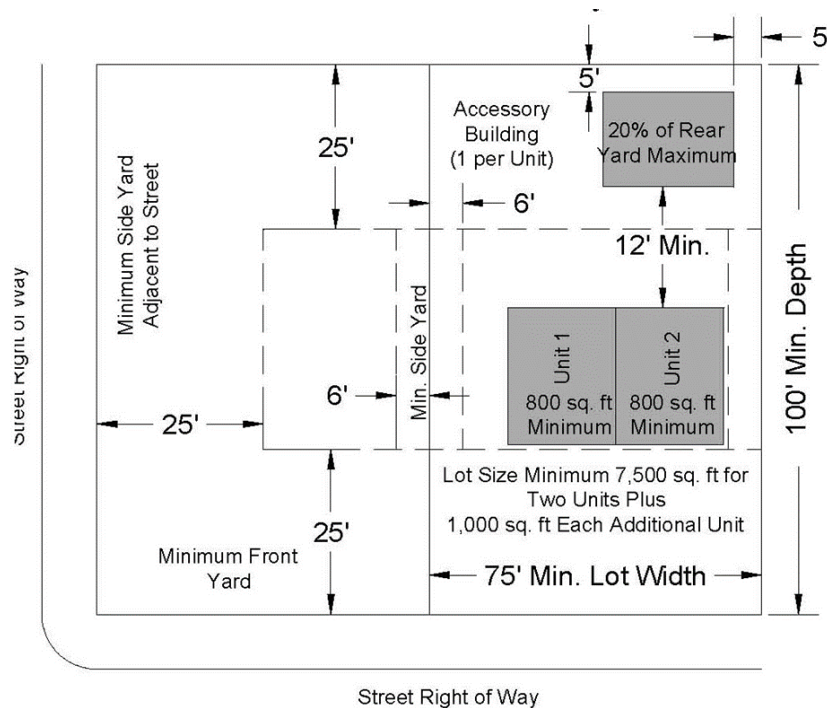
1. Minimum lot area: 3,000 ft².
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Single family dwelling: 1,000 ft².
8. Accessory buildings:
 - a. Maximum accessory buildings coverage of rear yard: 20%.
 - b. Maximum number of accessory buildings: one.
 - c. Minimum depth of side setback: five feet.
 - d. Minimum depth of rear setback: five feet.
 - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.

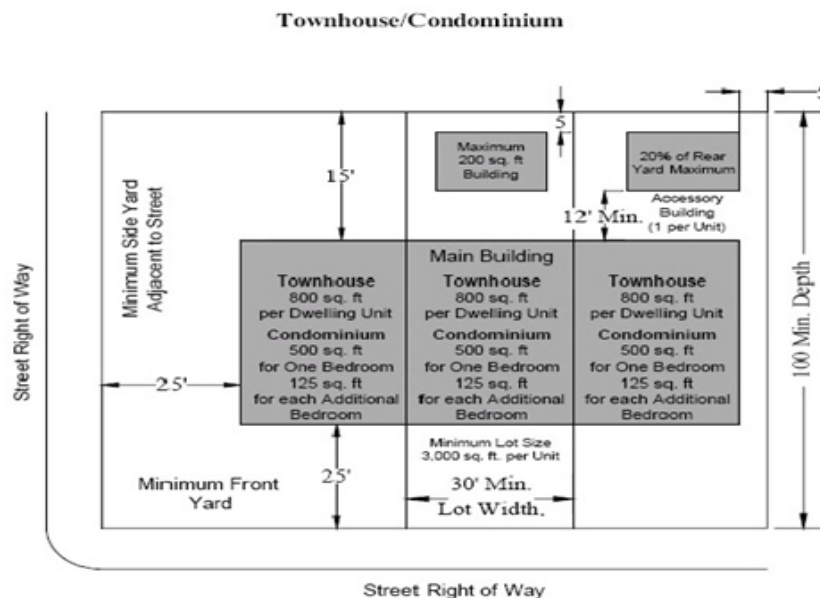
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: six feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Minimum area of each dwelling unit: 800 ft².
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



C. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft² per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.

- b. Corner lot: 15 feet from intersecting side street.
- 7. Building size:
 - a. Maximum building coverage as a percentage of lot area: 40%
 - b. Minimum area of each Townhouse dwelling unit: 800 ft².
 - c. Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
- 8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
- 9. Maximum height of structures: 35 feet.
- 10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
- 11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.



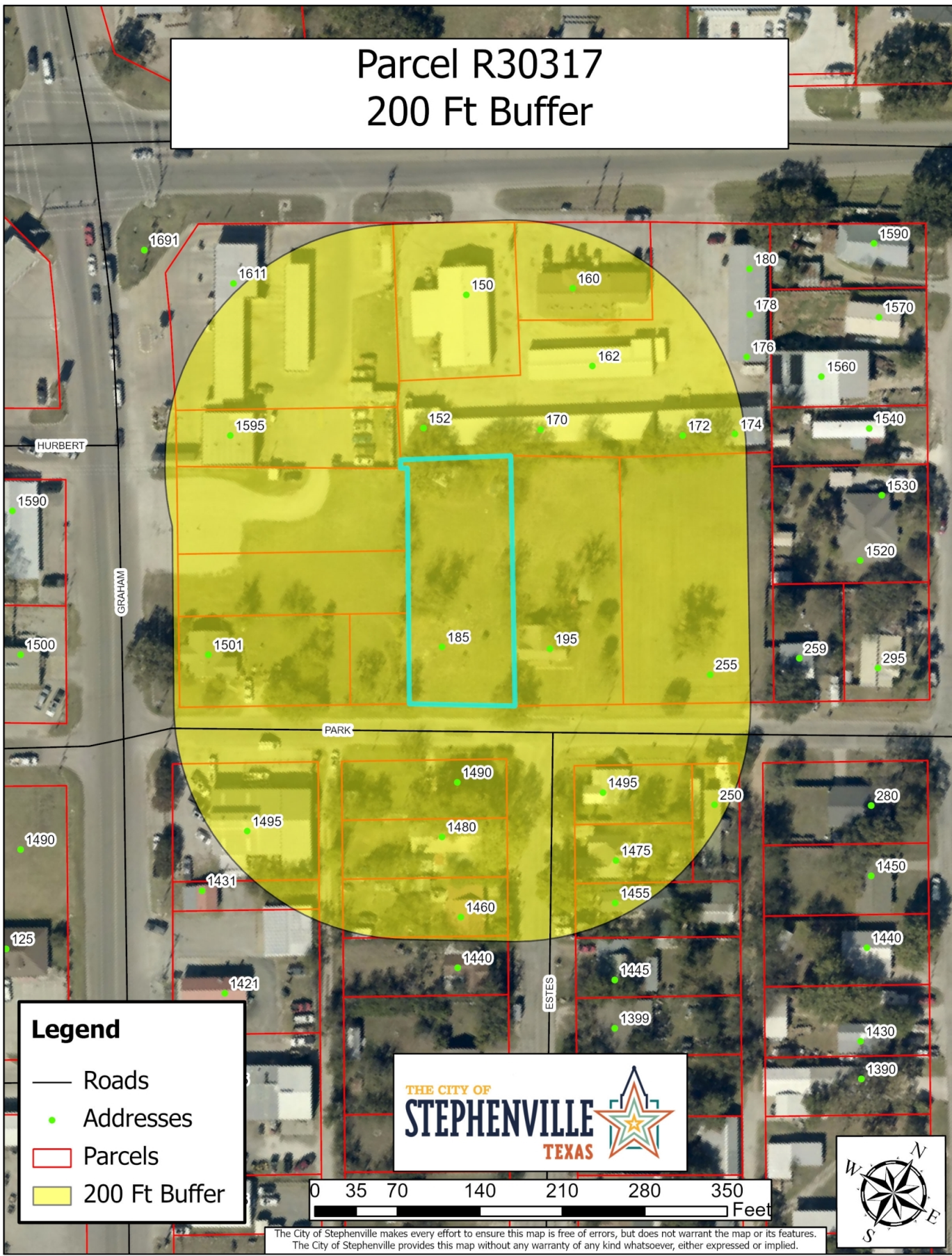
5.8.E Parking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles* of this ordinance.

(Ord. No. 2021-O-28, § 1, passed 9-7-2021; Ord. No. 2023-O-03, § 1, passed 1-3-2023; Am. Ord. 2024-O-33, § 1, passed 11-5-2024)

ALTERNATIVES:

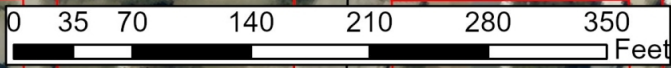
- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council deny the rezoning request.

Parcel R30317 200 Ft Buffer



Legend

- Roads
- Addresses
- ▭ Parcels
- 200 Ft Buffer



The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

Parcel R30317

Current Zoning - B2 Retail & Commercial



Legend

ZONING

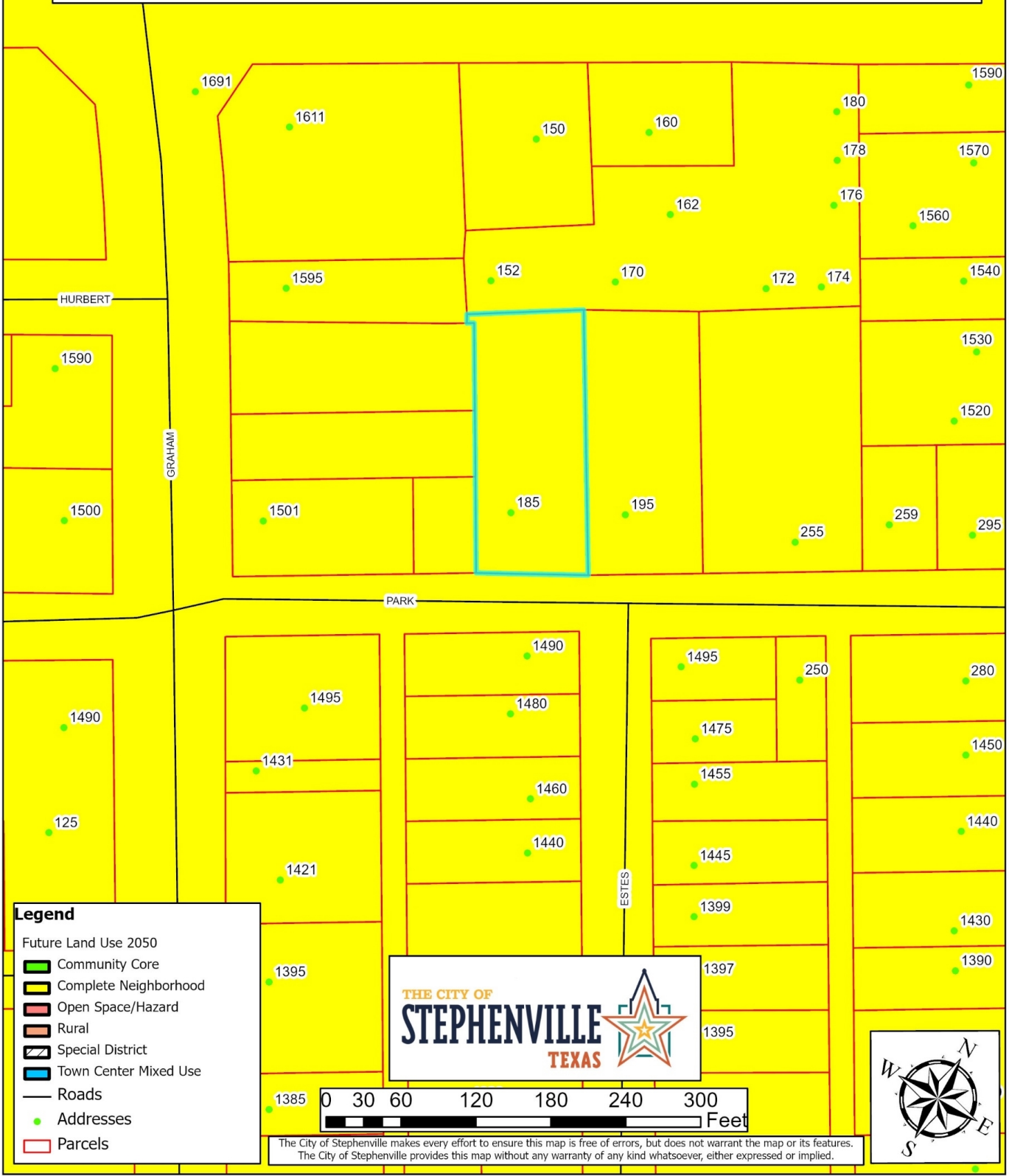
- Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre
- Roads
- Addresses
- Parcels



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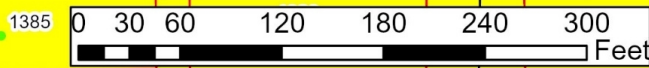
Parcel R30317

Future Land Use - Complete Neighborhood



Legend

- Future Land Use 2050
- Community Core
- Complete Neighborhood
- Open Space/Hazard
- Rural
- Special District
- Town Center Mixed Use
- Roads
- Addresses
- Parcels



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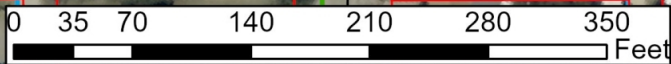


Parcel R30317 Water & Sewer Utilities



Legend

- Sewer Lines
- Water Lines
- Roads
- Addresses
- Parcels



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Parcel ID R30317

200 Ft Buffer

Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000028852	1480 ESTES	AGUILAR JOSE TEODORO	1480 N ESTES	STEPHENVILLE	TX	76401
R000028851	1460 ESTES	ALFARO DEONIL	1397 CLEVELAND	STEPHENVILLE	TX	76401
R000028869	1475 ESTES	ANGEL CARLOS URIEL ARANDA	1475 ESTES	STEPHENVILLE	TX	76401
R000028840	1431 N GRAHAM	ANTHONY CLARK D & VICKI J	759 JERRY LUCY RD	LONGVIEW	TX	75603
R000028841	1421 N GRAHAM	ANTHONY CLARK D & VICKI J	759 JERRY LUCY RD	LONGVIEW	TX	75603
R000028868	250 E PARK STREET	BARRERA JOSE LUIS	257 W COLLEGE	STEPHENVILLE	TX	76401
R000028838	1495 N GRAHAM	BLED SOE BRIANNA NISHEA AND BRANNDON PARKER BLED SOE	1207 PRAIRIE WIND	STEPHENVILLE	TX	76401
R000030312	0 PARK STREET	CHILDRESS REVOCABLE TRUST & AMBER LONG	1132 ELK RIDGE DR	STEPHENVILLE	TX	76401
R000030311	1501 N GRAHAM	CHILDRESS REVOCABLE TRUST & AMBER LONG	1132 ELK RIDGE DR	STEPHENVILLE	TX	76401
R000028850	1440 ESTES	DELACRUZ JOSE & ROSALINDA	1440 N ESTES	STEPHENVILLE	TX	76401-0000
R000074198	160 E FM8	HARPOLE WILLIAM MATTHEW & SHANNA	371 LAKE POINT DR	GORDON	TX	76453-4827
R000030318	195 E PARK STREET	MAYO TAMMY	1411 GROESBECK	STEPHENVILLE	TX	76401
R000030317	185 E PARK STREET	MAYO TAMMY	1411 GROESBECK	STEPHENVILLE	TX	76401
R000030309	162 E FM8	MITCHELL RENTALS INC	PO BOX 1736	STEPHENVILLE	TX	76401
R000030320	255 PARK STREET	MONK GARRETT & CHRISTINA MONK	1365 INGLEWOOD	STEPHENVILLE	TX	76401
R000028853	1490 ESTES	NEWBY ROBERT W & TRACY L NEWBY	430 E LONG ST	STEPHENVILLE	TX	76401
R000030314	1595 N GRAHAM	OHM SHIVAM SHAKTI HIYA, LLC	3311 SW WILSHIRE BLVD	JOSHUA	TX	76058
R000030315	1611 N GRAHAM	OHM SHIVAM SHAKTI HIYA, LLC	3311 SW WILSHIRE BLVD	JOSHUA	TX	76058
R000028870	1445 ESTES	RAMIREZ SAMUEL	1445 ESTES	STEPHENVILLE	TX	76401
R000078417	150 E FM8	SLEMMONS RONNIE & LISA SLEMMONS	PO BOX 2445	STEPHENVILLE	TX	76401
R000030313	1585 N GRAHAM	TAYLOR DEAN	P O BOX 137	STEPHENVILLE	TX	76401
R000030319	1555 N GRAHAM	TAYLOR LAWRENCE DEAN & GLORIA	PO BOX 137	STEPHENVILLE	TX	76401-0000
R000028867	1495 ESTES	WILSON HELEN	365 CR258	DUBLIN	TX	76446

STAFF REPORT



SUBJECT: Application No.: RZ 2026-9625

Applicant Tammy Mayo is requesting approval of a rezone of property located at 195 E Park St, Parcel R30318, being BLK 138; LOT 8 & 9 of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (B-2), Retail and Commercial, to (R-2.5) Integrated Housing.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

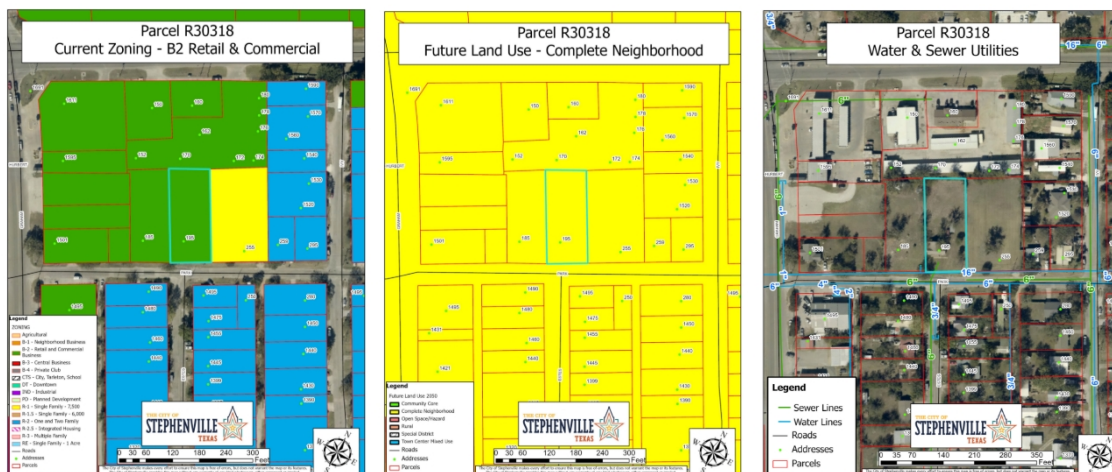
To provide the City Council with a recommendation for the rezoning request. Under the Stephenville 2050 Comprehensive Plan, Future Land Use is designated as Complete Neighborhood.

BACKGROUND:

Mr. and Mrs. Mayo are requesting the rezone to allow the construction of single-family residences. If the rezone is approved, the Mayo's will submit a preliminary site-plan for development review. A subsequent replat will likely be presented once development details are determined.

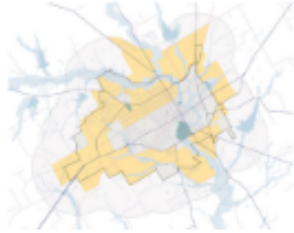
A six-inch and 16" water main as well as a six-inch sanitary sewer main is located in Park St.

The rezone request, if approved, aligns with the Future Land Use designation of "Complete Neighborhood" according to Comprehensive Plan "Stephenville 2050."



Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



Sec. 154.05.8 Integrated housing district (R-2.5).

5.8.A Description. This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well being of the intended district environment. The Integrated Housing District will be applicable to for all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than four individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than four unrelated individuals;
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

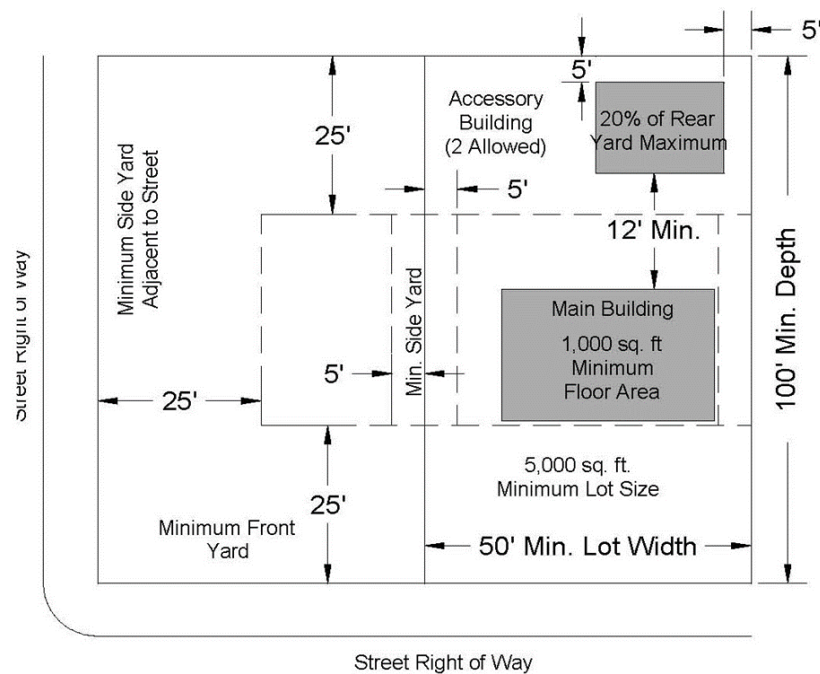
5.8.C Conditional Uses.

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

5.8.D Height, Area, Yard and Lot Coverage Requirements.

- A. Single family dwelling.

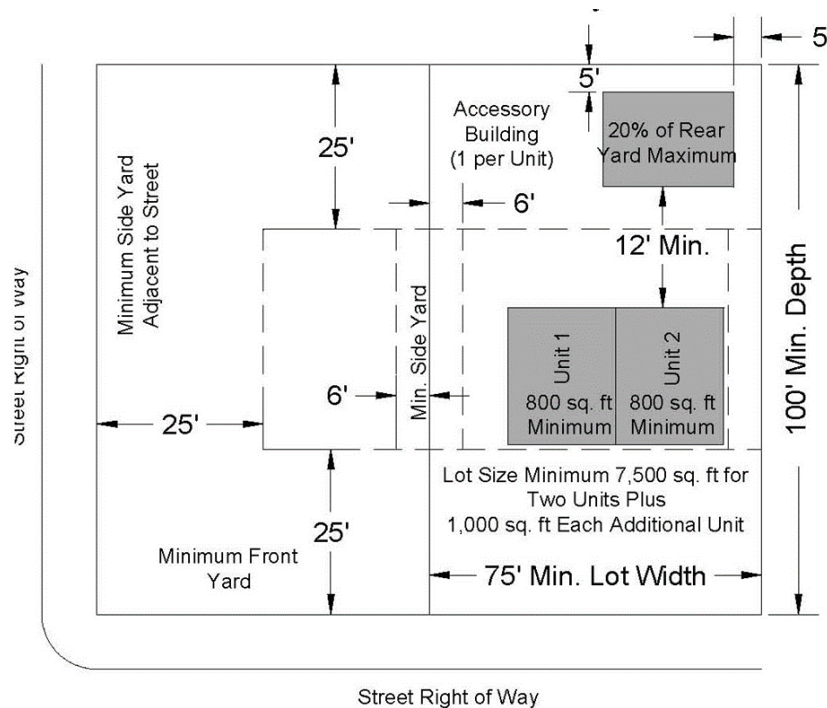
1. Minimum lot area: 3,000 ft².
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Single family dwelling: 1,000 ft².
8. Accessory buildings:
 - a. Maximum accessory buildings coverage of rear yard: 20%.
 - b. Maximum number of accessory buildings: one.
 - c. Minimum depth of side setback: five feet.
 - d. Minimum depth of rear setback: five feet.
 - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.

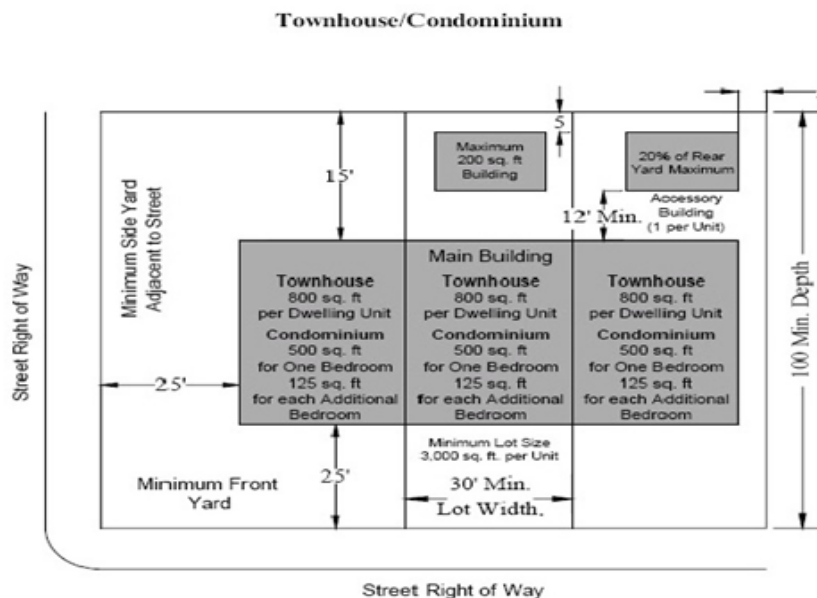
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: six feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Minimum area of each dwelling unit: 800 ft².
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



C. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft² per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.

- b. Corner lot: 15 feet from intersecting side street.
- 7. Building size:
 - a. Maximum building coverage as a percentage of lot area: 40%
 - b. Minimum area of each Townhouse dwelling unit: 800 ft².
 - c. Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
- 8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
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 - e. Minimum depth of rear setback: five feet.
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- 11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.



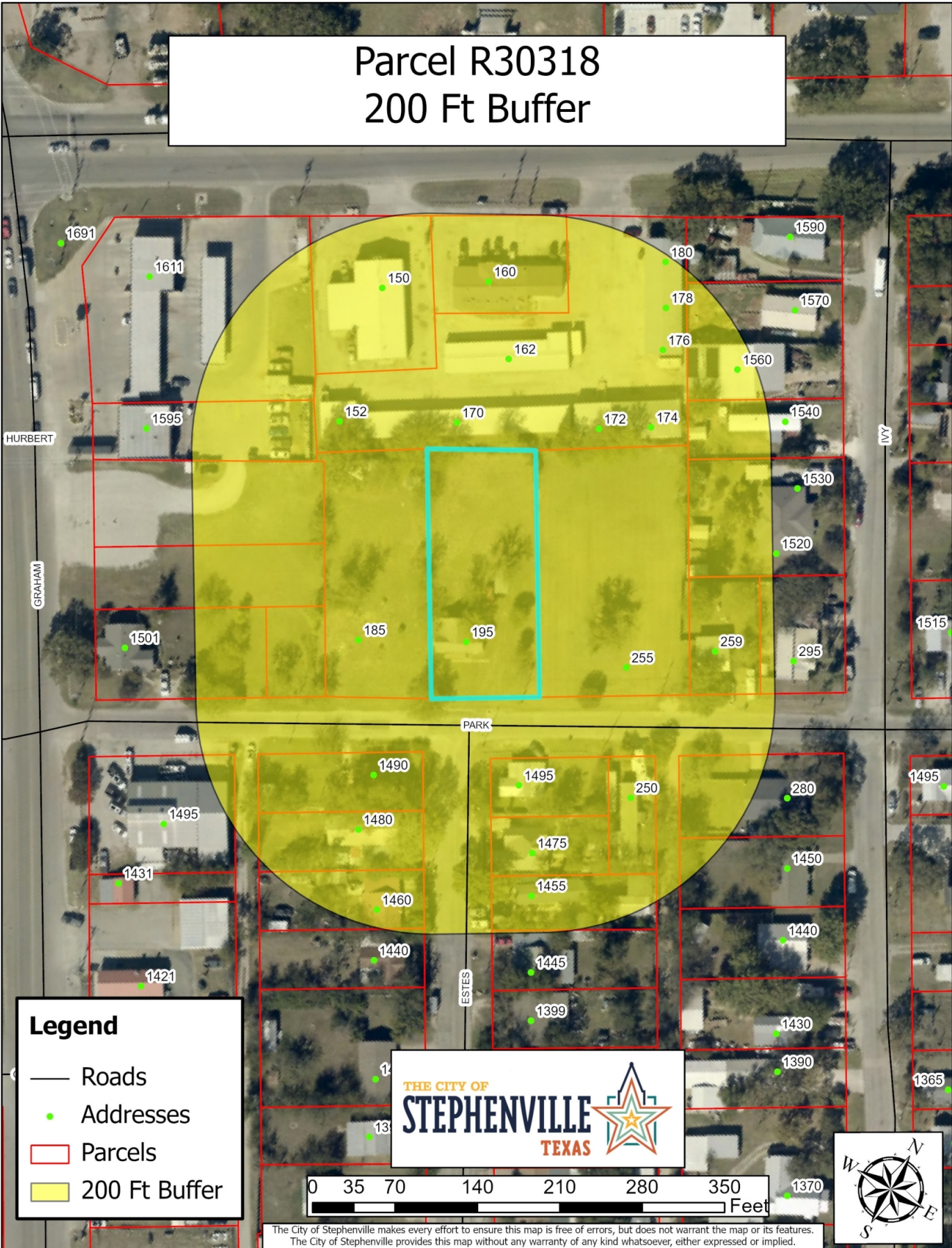
5.8.E Parking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles* of this ordinance.

(Ord. No. 2021-O-28, § 1, passed 9-7-2021; Ord. No. 2023-O-03, § 1, passed 1-3-2023; Am. Ord. 2024-O-33, § 1, passed 11-5-2024)

ALTERNATIVES:

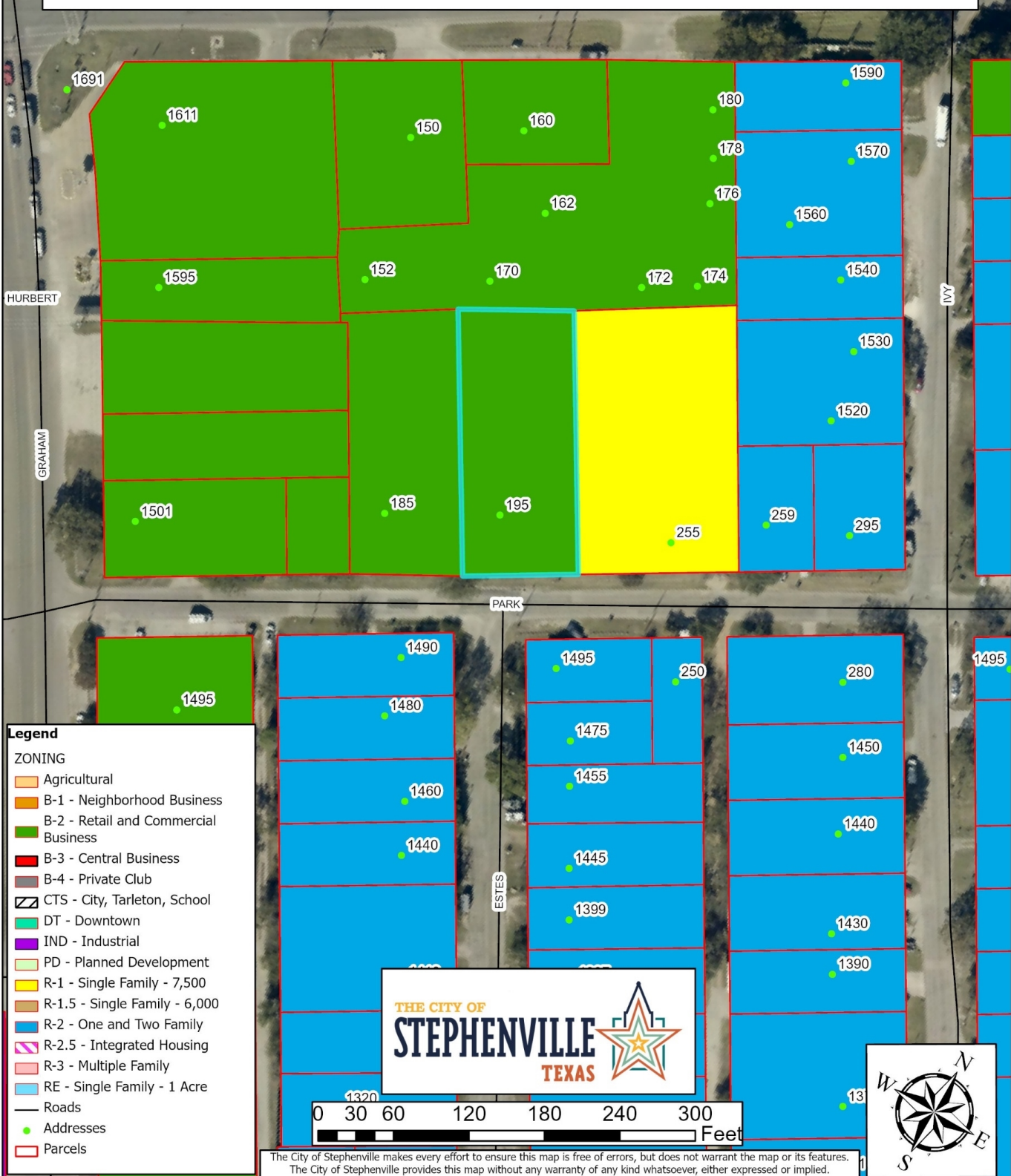
- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council deny the rezoning request.

Parcel R30318 200 Ft Buffer



Parcel R30318

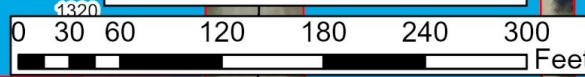
Current Zoning - B2 Retail & Commercial



Legend

ZONING

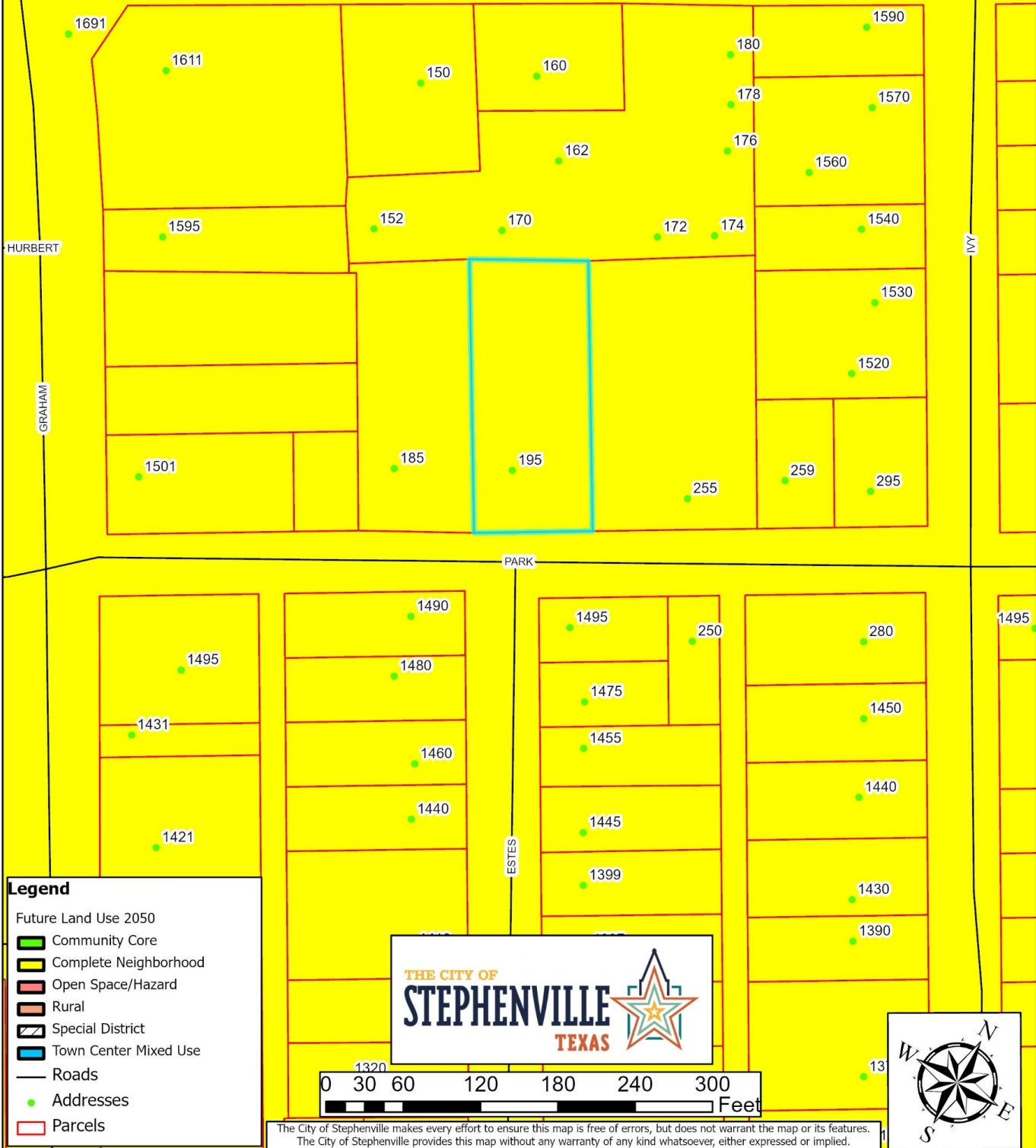
- Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre
- Roads
- Addresses
- Parcels



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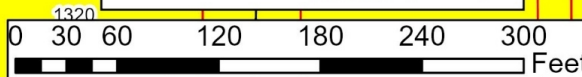
Parcel R30318

Future Land Use - Complete Neighborhood



Legend

- Future Land Use 2050
- Community Core
- Complete Neighborhood
- Open Space/Hazard
- Rural
- Special District
- Town Center Mixed Use
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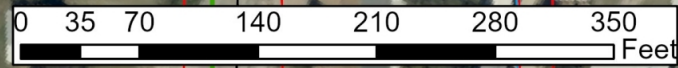
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Parcel R30318 Water & Sewer Utilities



Legend

- Sewer Lines
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Parcel ID R30318

200 Ft Buffer

Address

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000028852	1480 ESTES	AGUILAR JOSE TEODORO	1480 N ESTES	STEPHENVILLE TX		76401
R000028851	1460 ESTES	ALFARO DEONIL	1397 CLEVELAND	STEPHENVILLE TX		76401
R000028869	1475 ESTES	ANGEL CARLOS URIEL ARANDA	1475 ESTES	STEPHENVILLE TX		76401
R000028868	250 E PARK STREET	BARRERA JOSE LUIS	257 W COLLEGE	STEPHENVILLE TX		76401
R000028838	1495 N GRAHAM	BLED SOE BRIANNA NISHEA AND BRANNDON PARKER BLED SOE	1207 PRAIRIE WIND	STEPHENVILLE TX		76401
R000028890	1590 IVY	BOASE GARY L	1590 N IVY	STEPHENVILLE TX		76401-0000
R000028881	1450 IVY	BOSTIC ROBERT & ERIKA BOSTIC	220 CR470	DE LEON TX		76444
R000030312	0 PARK STREET	CHILDRESS REVOCABLE TRUST & AMBER LONG	1132 ELK RIDGE DR	STEPHENVILLE TX		76401
R000030311	1501 N GRAHAM	CHILDRESS REVOCABLE TRUST & AMBER LONG	1132 ELK RIDGE DR	STEPHENVILLE TX		76401
R000028887	1540 IVY	CYNOWSKI PAUL GEORGE (ESTATE) & BETTY JOE RICKARD	1540 IVY	STEPHENVILLE TX		76401
R000028850	1440 ESTES	DELACRUZ JOSE & ROSALINDA	1440 N ESTES	STEPHENVILLE TX		76401-0000
R000074198	160 E FM8	HARPOLE WILLIAM MATTHEW & SHANNA	371 LAKE POINT DR	GORDON TX		76453-4827
R000030318	195 E PARK STREET	MAYO TAMMY	1411 GROESBECK	STEPHENVILLE TX		76401
R000030317	185 E PARK STREET	MAYO TAMMY	1411 GROESBECK	STEPHENVILLE TX		76401
R000030309	162 E FM8	MITCHELL RENTALS INC	PO BOX 1736	STEPHENVILLE TX		76401
R000028884	259 PARK STREET	MONK ADIRENNE CAMILLE	2805 GLADIOUS LN	DALLAS TX		75233
R000030320	255 PARK STREET	MONK GARRETT & CHRISTINA MONK	1365 INGLEWOOD	STEPHENVILLE TX		76401
R000028853	1490 ESTES	NEWBY ROBERT W & TRACY L NEWBY	430 E LONG ST	STEPHENVILLE TX		76401
R000030314	1595 N GRAHAM	OHM SHIVAM SHAKTI HIYA, LLC	3311 SW WILSHIRE BLVD	JOSHUA TX		76058
R000030315	1611 N GRAHAM	OHM SHIVAM SHAKTI HIYA, LLC	3311 SW WILSHIRE BLVD	JOSHUA TX		76058
R000028871	1455 ESTES	RAMIREZ BUPBERTO MENDEZ	1455 ESTES	STEPHENVILLE TX		76401
R000028870	1445 ESTES	RAMIREZ SAMUEL	1445 ESTES	STEPHENVILLE TX		76401
R000028882	280 PARK STREET	RANGEL ALMA & JESUS RANGEL	280 E PARK	STEPHENVILLE TX		76401
R000028883	295 E PARK STREET	ROJAS RICHARD	PO BOX 581	LA PRYOR TX		78872
R000028886	1530 IVY	SANCHEZ REYNOLD	1530 IVY	STEPHENVILLE TX		76401
R000078417	150 E FM8	SLEMMONS RONNIE & LISA SLEMMONS	PO BOX 2445	STEPHENVILLE TX		76401
R000028889	1570 IVY	SMITH CRAIG	1570 N IVY ST	STEPHENVILLE TX		76401
R000030313	1585 N GRAHAM	TAYLOR DEAN	P O BOX 137	STEPHENVILLE TX		76401
R000030319	1555 N GRAHAM	TAYLOR LAWRENCE DEAN & GLORIA	PO BOX 137	STEPHENVILLE TX		76401-0000
R000028867	1495 ESTES	WILSON HELEN	365 CR258	DUBLIN TX		76446

STAFF REPORT



SUBJECT: Application No.: RZ 2026-9653

Applicant Venigno Mascorro is requesting approval of a rezone of property located at 610 Old Granbury Rd., Parcel R25183, being BLK 160; LOT 11 (PT. OF) of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (I), Industrial, to (R-2.5) Integrated Housing.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

To provide the City Council with a recommendation for the rezoning request. Under the Stephenville 2050 Comprehensive Plan, Future Land Use is designated as Community Core.

BACKGROUND:

Mr. Mascorro desires to build a single-family residence on the property.

A six-inch water main is located in Old Granbury Road. Sewer is in the vicinity; however, private easements and a private lift station will likely be required to connect due to location and topography of the property. Alternatively, an on-site sewerage system may be authorized by the city through the waiver process.

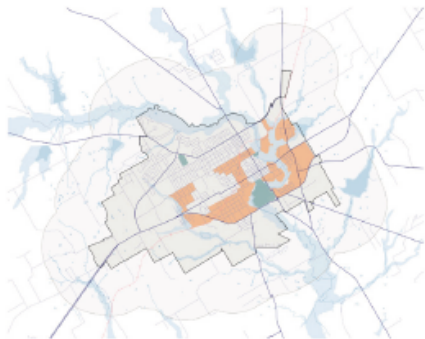
The rezone request, if approved, aligns with the Future Land Use designation of “Community Core” according to Comprehensive Plan “Stephenville 2050.”



FUTURE LAND USE

Community Core

The Community Core land use accommodates a mix of uses at a medium density. Diverse housing types are encouraged to support a range of residents. Local businesses, such as grocery stores, cafes, and local offices cater to the needs of the nearby residents and parks and green spaces provide recreational opportunities.



Sec. 154.05.8 Integrated housing district (R-2.5).

5.8.A Description. This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well being of the intended district environment. The Integrated Housing District will be applicable to for all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

5.8.B Permitted Uses.

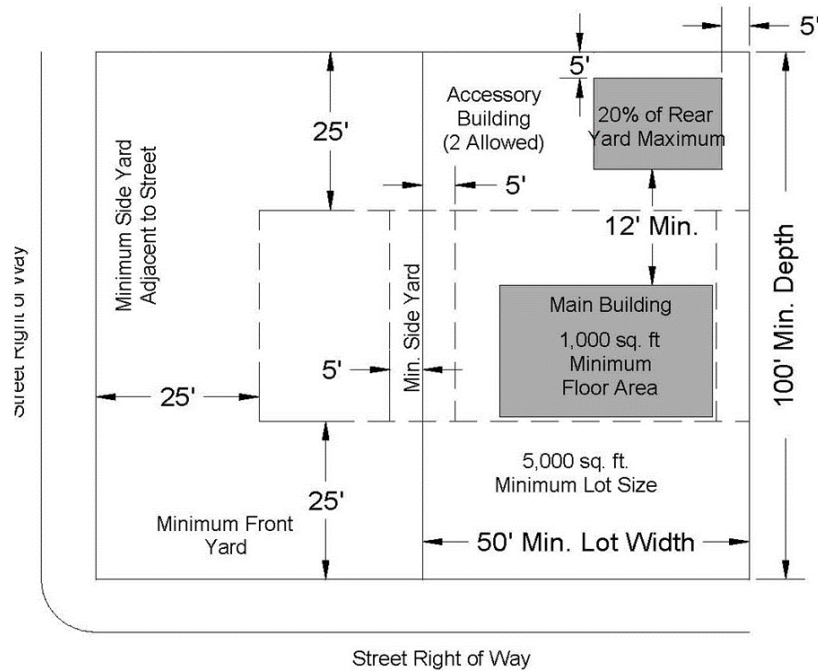
1. Single-family detached dwelling, limited to occupancy by a family having no more than four individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than four unrelated individuals;
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

5.8.C Conditional Uses.

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

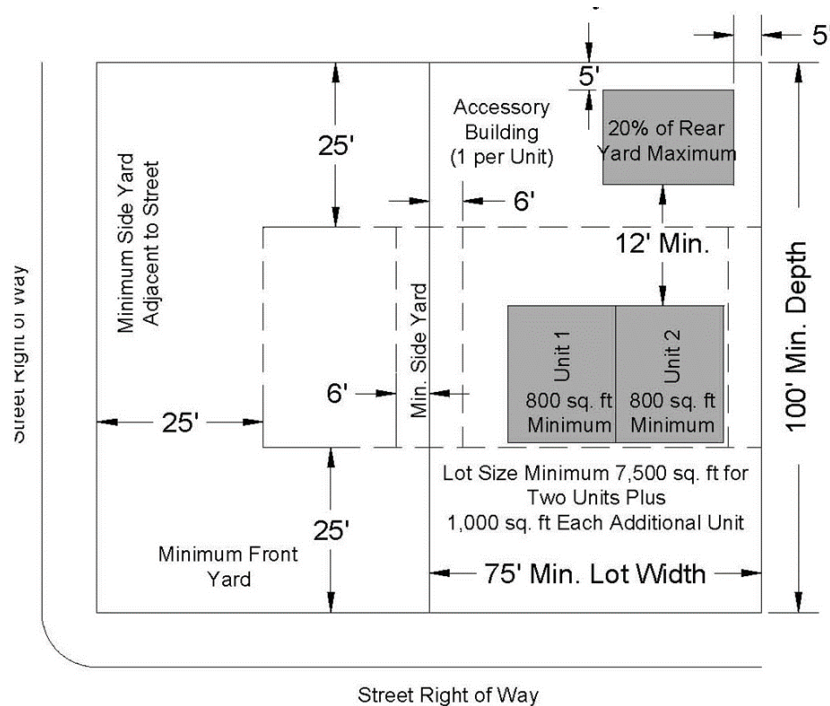
5.8.D Height, Area, Yard and Lot Coverage Requirements.

- A. Single family dwelling.
 1. Minimum lot area: 3,000 ft².
 2. Minimum lot width and lot frontage: 50 feet.
 3. Minimum lot depth: 60 feet.
 4. Minimum depth of front setback: 15 feet.
 5. Minimum depth of rear setback: 15 feet.
 6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
 7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Single family dwelling: 1,000 ft².
 8. Accessory buildings:
 - a. Maximum accessory buildings coverage of rear yard: 20%.
 - b. Maximum number of accessory buildings: one.
 - c. Minimum depth of side setback: five feet.
 - d. Minimum depth of rear setback: five feet.
 - e. Minimum depth from the edge of the main building: 12 feet.
 9. Maximum height of structures: 35 feet.
 10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

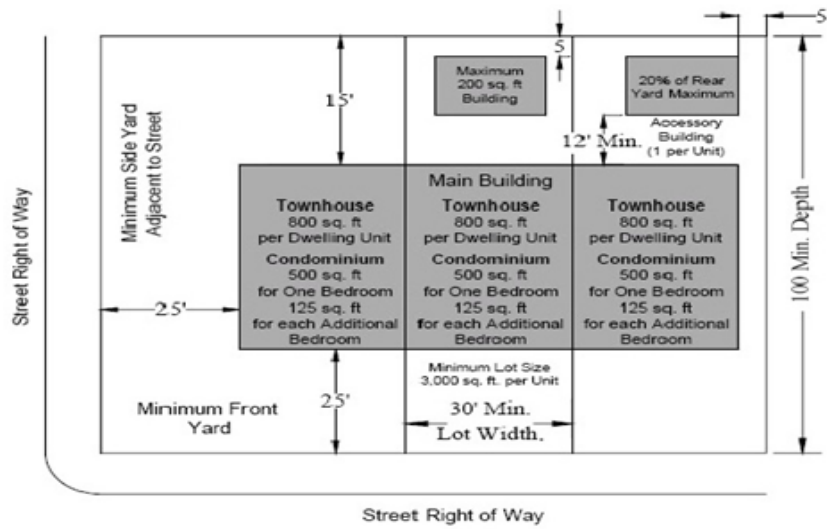
1. Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: six feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Minimum area of each dwelling unit: 800 ft².
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



C. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft² per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum building coverage as a percentage of lot area: 40%
 - b. Minimum area of each Townhouse dwelling unit: 800 ft².
 - c. Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.

Townhouse/Condominium



5.8.E Parking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles* of this ordinance.

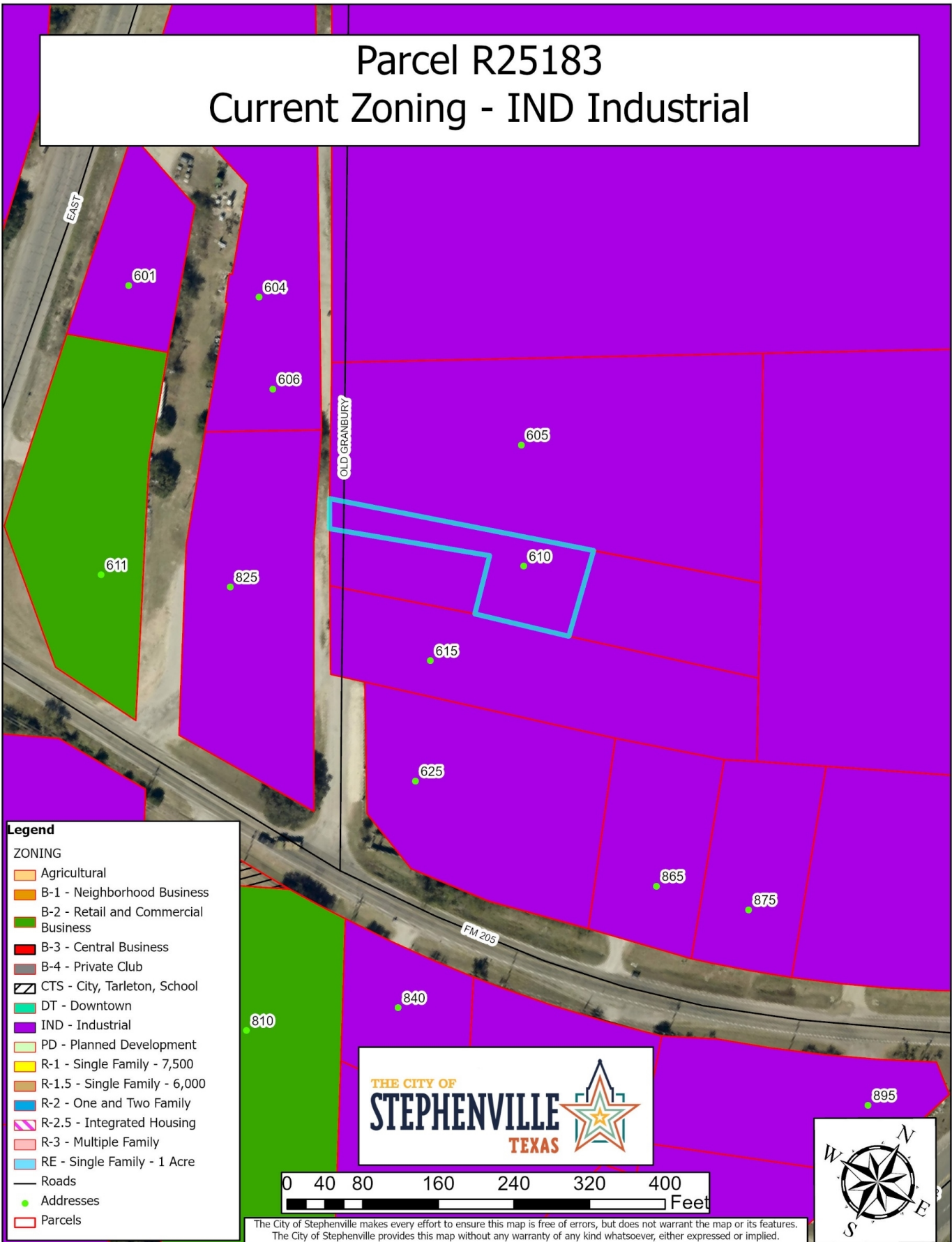
(Ord. No. 2021-O-28, § 1, passed 9-7-2021; Ord. No. 2023-O-03, § 1, passed 1-3-2023; Am. Ord. 2024-O-33, § 1, passed 11-5-2024)

ALTERNATIVES:

- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council deny the rezoning request.

Parcel R25183

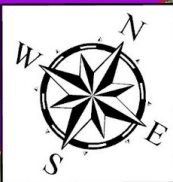
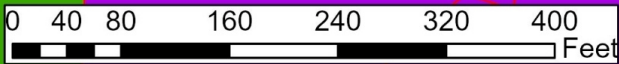
Current Zoning - IND Industrial



Legend

ZONING

- Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre
- Roads
- Addresses
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

Parcel R25183

Future Land Use - Community Core



Legend

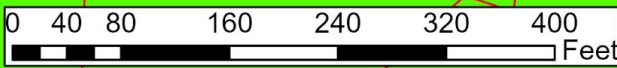
Future Land Use 2050

- Community Core
- Complete Neighborhood
- Open Space/Hazard
- Rural
- Special District
- Town Center Mixed Use

— Roads

• Addresses

▭ Parcels



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Parcel ID R25183

200 Ft Buffer

Address

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000029832	825 FM205	825 FM 205, LLC	190 FOREST CT	ALEDO	TX	76008
R000024991	525 EAST ROAD	BURRIS JUDY K	279 CR567	STEPHENVILLE	TX	76401
R000025211	935 E SOUTH LOOP	CRAZY H PROPERTIES LLC	PO BOX 653	STEPHENVILLE	TX	76401
R000025212	865 FM205	HENDRIX ROBERT JR & DONNA S	238 CR569	STEPHENVILLE	TX	76401
R000067981	0 OLD GRANBURY RD	MASCORRO DAVID	PO BOX 1109	STEPHENVILLE	TX	76401
R000067967	0 OLD GRANBURY RD	MASCORRO DAVID	PO BOX 1109	STEPHENVILLE	TX	76401
R000025122	625 OLD GRANBURY RD	MASCORRO DAVID & MARY	PO BOX 1109	STEPHENVILLE	TX	76401
R000064144	0 OLD GRANBURY RD	MASCORRO DAVID & MARY	PO BOX 1109	STEPHENVILLE	TX	76401
R000025221	0 OLD GRANBURY RD	MASCORRO DAVID & MARY	PO BOX 1109	STEPHENVILLE	TX	76401
R000025183	610 OLD GRANBURY RD	MASCORRO VENIGNO	1090 NORTH RACE	STEPHENVILLE	TX	76401
R000029838	604 OLD GRANBURY RD	R & N LIGHT PROPERTIES LLC	PO BOX 226	STEPHENVILLE	TX	76401
R000029833	611 EAST ROAD	WALKER JAMES H	1350 CR268	GUSTINE	TX	76455-1501

STAFF REPORT



SUBJECT: Consider Proposed Modification of the Thoroughfare Plan

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

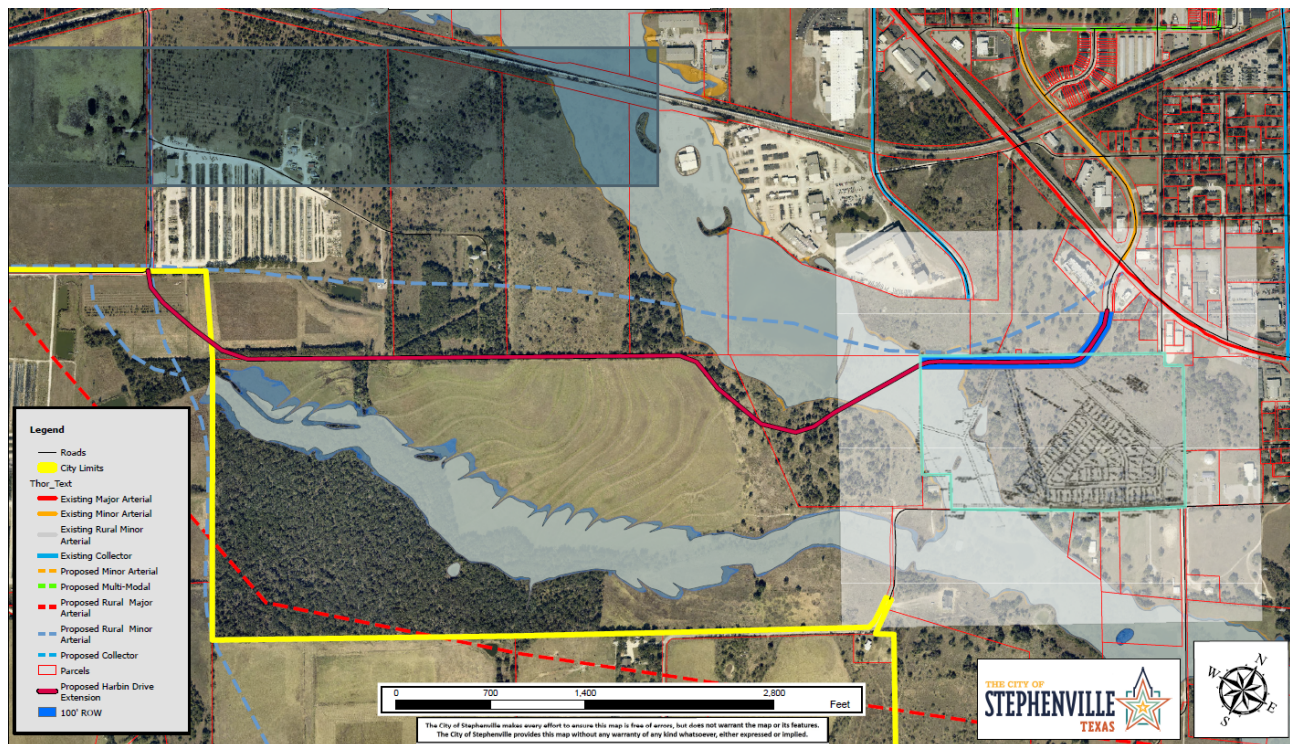
RECOMMENDATION:

To provide the City Council with a recommendation relating to the proposed modification of the Thoroughfare Plan.

BACKGROUND:

The proposed modification is to better align the Harbin Road extension to better serve future development of properties south and west of the current Harbin Road access point. This will modify the Thoroughfare Plan that was included in the Stephenville 2050 Plan.

Images of the existing alignment and proposed are pasted below:



ALTERNATIVES:

- 1) Recommend the City Council approve the proposed modification of the Thoroughfare Plan.
- 2) Recommend the City Council deny the proposed modification of the Thoroughfare Plan.