



**Planning & Zoning Commission**  
Regular Meeting

Wednesday, October 15, 2025, 5:30 PM  
City Hall Council Chambers  
298 W Washington  
Stephenville, Texas 76401

**AGENDA**

**CALL TO ORDER**

**CITIZENS GENERAL DISCUSSION**

**APPROVAL OF MINUTES**

1. Consider approval of September 17, 2025, Meeting Minutes

**REGULAR AGENDA**

2. **Application No. RZ 9195**

Applicant James Ralph Lee is requesting a rezone of property located at 0 CR 256, Parcel R71064, being BLK 149, Lot 2 (pt of) of the S2600 City Addition of the City of Stephenville, Erath County, Texas from "I" Industrial to "R-2.5" Integrated Housing.

3. **Public Hearing**

Application No. RZ 9195

4. **Application No. RZ 9195**

Consider approval of a rezone of property located at 0 CR 256, Parcel R71064, being BLK 149, Lot 2 (pt of) of the S2600 City Addition of the City of Stephenville, Erath County, Texas from "I" Industrial to "R-2.5" Integrated Housing.

5. **Application No. RZ 9196**

Applicant James Ralph Lee is requesting a rezone of property located at 0 CR 256, Parcel R19789, being approximately 29.9 acres of the AO342 H.C. Hudson abstract of the City of Stephenville, Erath County, Texas from "Ag" Agricultural, to "R-2.5" Integrated Housing.

6. **Public Hearing**

Application No. RZ 9196

7. **Application No. RZ 9196**

Consider approval of a rezone of property located at 0 CR 256, Parcel R19789, being approximately 29.9 acres of the AO342 H.C. Hudson abstract of the City of Stephenville, Erath County, Texas from "Ag" Agricultural, to "R-2.5" Integrated Housing.

8. **Application No.: RZ 9140**

Applicant Charles Vance Wade, representing WW Investments, LLC., is requesting a rezone of property located at 955 N Ollie, Parcel R77978, being BLK 5; LOT 4R of the S4400 KIGHT SECOND ADDITION of the City of Stephenville, Erath County, Texas from "R-2.5", Integrated Housing, to "R-3," Multiple Family Residential.

9. **Public Hearing**

Application No. RZ 9140

10. **Application No.: RZ 9140**

Consider approval of a rezone of property located at 955 N Ollie, Parcel R77978, being BLK 5; LOT 4R of the S4400 KIGHT SECOND ADDITION of the City of Stephenville, Erath County, Texas from "R-2.5", Integrated Housing, to "R-3," Multiple Family Residential.

11. **Application No.: RZ 9163**

Applicant Wyatt Thorp is requesting a rezone of property located at 587 Race, Parcel R32547, being BLK 2; LOTS 5 & 6A of the S5100 MILLICAN & OTT ADDITION of the City of Stephenville, Erath County, Texas from "R-1", Single Family Residential, to "R-2.5," Integrated Housing.

12. **Public Hearing**

Application No. RZ 9163

13. **Application No.: RZ 9163**

Consider approval of a rezone of property located at 587 Race, Parcel R32547, being BLK 2; LOTS 5 & 6A of the S5100 MILLICAN & OTT ADDITION of the City of Stephenville, Erath County, Texas from "R-1", Single Family Residential, to "R-2.5," Integrated Housing.

14. **Application No.: RZ 9189**

Applicant Jayton Cogburn, representing Richard J and Rebecca R Lieb, is requesting a rezone of property located at 615 College Farm Rd, Parcel R29924, being BLK 87; LOT 2B of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from "B-1", Neighborhood Business, to "R-2.5," Integrated Housing.

15. **Public Hearing**

Application No. RZ 9189

16. **Application No.: RZ 9189**

Consider approval of a rezone of property located at 615 College Farm Rd, Parcel R29924, being BLK 87;

LOT 2B of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from "B-1", Neighborhood Business, to "R-2.5," Integrated Housing.

17. **Application No.: PD 9075 – PD Update**

Applicant John Allender, representing Southwestern Pigeon Road, LLC., is providing an update to the Planned Development (PD) for property located at 315 FM 2303, Parcel R22587, House and Barn; of the A0520 MENEFFEE JARRETT to the City of Stephenville, Erath County, Texas.

18. **Public Hearing**

Application No. PD 9075

19. **Application No.: PD 9075 – PD Update**

Provide comments regarding the update to the Planned Development (PD) for property located at 315 FM 2303, Parcel R22587, House and Barn; of the A0520 MENEFFEE JARRETT to the City of Stephenville, Erath County, Texas.

**ADJOURN**

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.



## PLANNING & ZONING COMMISSION

MEETING MINUTES  
REGULAR MEETING  
SEPTEMBER 17, 2025

### CALL TO ORDER

The Planning & Zoning Commission of the City of Stephenville, Texas, convened on Wednesday, September 17, 2025, in the City Hall Council Chambers, 298 West Washington Street, for the purpose of a Planning & Zoning Commission Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present to wit:

#### **Commissioners Present:**

Place 1 - Tyler Wright  
Place 2 - Justin Slawson  
Place 3 - Lisa LaTouche  
Place 4 - Bonnie Terrell  
Place 5 - Nick Robinson  
Place 6 - Brian Lesley  
Place 7 - James Stephenson

#### **Commissioners Absent:**

None

#### **Others Attending:**

Steve Killen, Director of Development Services  
Jan Strahan, Commission Secretary

Commission Chair Lisa LaTouche called the Planning & Zoning Commission to order at 05:30 PM.

### CITIZENS GENERAL DISCUSSION

No one addressed the Commission at this time.

### APPROVAL OF MINUTES

1. **Consider Approval of Minutes from August 20, 2025**

MOTION by Brian Lesley, second by Nick Robinson, to approve August 20, 2025, Meeting Minutes as presented. MOTION Carried unanimously.

## REGULAR AGENDA

### 2. **Application No.: RZ 9072**

**Applicant Joel Allen, representing Allen Real Properties, LTD., is requesting approval of an Amended Plat with simultaneous rezoning of a portion of property located at 0 Northwest Loop, Parcel R22427, being approximately 3.66 acres of the A0515 MOTLEY WILLIAM of the City of Stephenville, Erath County, Texas from “B-2”, Retail and Commercial, to “R-2.5,” Integrated Housing. The portion of Parcel R22427 that is rezoned will become part of Parcel R77510, zoned R-2.5.**

Development Services Director, Steve Killen, provided the report as follows. The applicant is requesting a portion of parcel R22427 be rezoned to accommodate a site plan involving the adjacent 36-acre parcel. Section 155.4.03 of the Subdivision Ordinance provides a mechanism for simultaneous replating and rezoning, whereby the rezone is approved first. If the rezone is denied, the plat application is also denied. This mechanism would allow for the subdivision of parcel R22427 and an amended plat would incorporate the rezoned portions for the adjacent parcel. Both parcels are owned by Allen Real Properties, LTD.

Mr. Allen was not present to answer questions.

### 3. **Public Hearing Application No.: RZ 9072**

Chairperson Lisa LaTouche opened the public hearing at 5:46pm.

No one spoke in favor or against the request to approve Amended Plat with simultaneous rezoning of a portion of the property.

Chairperson Lisa LaTouche closed the public hearing at 5:46pm.

### 4. **Application No.: RZ 9072**

**Consider approval of an Amended Plat with simultaneous rezoning of a portion of property located at 0 Northwest Loop, Parcel R22427, being approximately 3.66 acres of the A0515 MOTLEY WILLIAM of the City of Stephenville, Erath County, Texas from “B-2”, Retail and Commercial, to “R-2.5,” Integrated Housing. The portion of Parcel R22427 that is rezoned will become part of Parcel R77510, zoned R-2.5.**

MOTION made by Nick Robinson, second by James Stephenson to recommend approval of an Amended Plat with simultaneous rezoning of a portion of property located at 0 Northwest Loop, Parcel R22427, being approximately 3.66 acres of the A0515 MOTLEY WILLIAM of the City of Stephenville, Erath County, Texas from "B-2", Retail and Commercial, to "R-2.5," Integrated Housing. The portion of Parcel R22427 that is rezoned will become part of Parcel R77510, zoned R-2.5. MOTION CARRIED unanimously.

5. **Application No.: PD 6199 – Front Porch PD Update**

**Applicant Reagan Thompson, representing TSU Catholic, LLC., is providing an update to the Planned Development (PD) for property located at 1292 W Washington, Parcel R77944, being BLK 134, LOTS 12;18;30B;31 (PTS OF), 1334 W Washington, Parcel R30249, being BLK 134, LOT 40, ATM MACHINE, 1350 W Washington, Parcel R30251, being BLK. 134; LOTS 1;5;28, 1303 McNeill, Parcel R30272, being BLK. 134, LOT 32, 1345 McNeill, Parcel R30271, being BLK. 134; LOT 31 (S150) and 1353 McNeil, Parcel R30270, being BLK. 1.34, LOT 30A of the CITY ADDITION to the City of Stephenville, Erath County, Texas.**

**This item was pulled**

6. **Public Hearing  
Application No.: PD 6199**

**This item was pulled**

7. **Application No.: PD 6199 – Front Porch PD Update**

**Provide comments on the update to the Planned Development (PD) for property located at 1292 W Washington, Parcel R77944, being BLK. 134, LOTS 12;18;30B;31 (PTS OF), 1334 W Washington, Parcel R30249, being BLK . 134, LOT 40, ATM MACHINE, 1350 W Washington, Parcel R30251, being BLK. 134; LOTS 1;5;28, 1303 McNeill, Parcel R30272, being BLK. 134, LOT 32, 1345 McNeill, Parcel R30271, being BLK. 134; LOT 31 (S150) and 1353 McNeil, Parcel R30270, being BLK. 1.34, LOT 30A of the CITY ADDITION to the City of Stephenville, Erath County, Texas.**

**This item was pulled**

8. **Application No.: RZ 9109**

**Applicant Beau Mayo, representing Erath Capital investments, LLC., is requesting a rezone of property located at 380 E. Elm, Parcel R28924, being BLK. 8; LOT 9&10 of the S2400 CAGE ADDITION to the City of Stephenville, Erath County, Texas from "R-2",**

**One and Two Family Residential, to “R-3”, Multiple Family Residential.**

Development Services Director, Steve Killen gave the following report: Mr. Mayo presented a rezone request from One and Two-Family Residential (R-2) to Multifamily (R-3) for adjacent parcels on October 19, 2022. The Commission voted 4-1 to recommend the City Council approve the rezone request. Subsequently, the City Council approved Ordinance 2022-O-36 at the November 2025 regular meeting by unanimous vote. Mr. Mayo is now acquiring Parcel R28924 and is requesting a rezone to include this parcel in his project. The project will have adequate water and sewer service. A six-inch water main is located in Elm St. and a six-inch sanitary sewer main is located in Ivy St. Additionally, a 12” sewer main traverses the properties. The rezone request, if approved, aligns with the Future Land Use designation of “Complete Neighborhood” according to Comprehensive Plan “Stephenville 2050.”

Mr. Mayo was present to answer the Commissioners' questions.

**9. Public Hearing  
Application No.: RZ 9109**

Chairperson Lisa LaTouche opened the public hearing at 5:35pm.

Speaking in Opposition to the rezone request:

Hayden Heaton - 1305 N Ivy Ave

Chairperson Lisa LaTouche closed the public hearing at 5:36pm

**10. Application No.: RZ 9109**

**Consider approval of a rezone of property located at 380 E. Elm, Parcel R28924, being BLK. 8; LOT 9&10 of the S2400 CAGE ADDITION to the City of Stephenville, Erath County, Texas from “R-2”, One and Two-Family Residential, to “R-3”, Multiple Family Residential.**

MOTION by Nick Robinson, second by James Stephenson, to recommend approval of a rezone of property located at 380 E. Elm, Parcel R28924, being BLK. 8; LOT 9&10 of the S2400 CAGE ADDITION to the City of Stephenville, Erath County, Texas from “R-2”, One and Two Family Residential, to “R-3”, Multiple Family Residential. MOTION CARRIED unanimously.

**ADJOURN**

Chairperson Lisa LaTouche adjourned the meeting at 5:46pm.

APPROVED:

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Lisa LaTouche, Chair

ATTEST:

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Jan Strahan, Commission Secretary

# STAFF REPORT

**SUBJECT:** Case No.: RZ 2025-9195

Applicant James Ralph Lee is requesting a rezone of property located at 0 CR 256, Parcel R71064, being BLK 149, Lot 2 (pt of) of the S2600 City Addition of the City of Stephenville, Erath County, Texas from "I" Industrial to "R-2.5" Integrated Housing.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

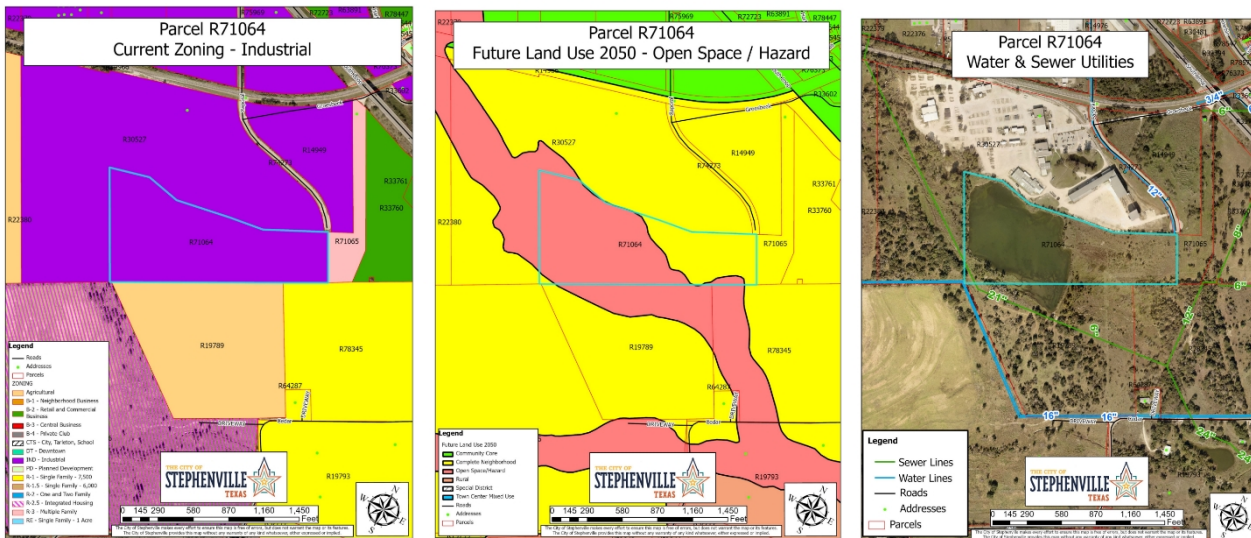
**RECOMMENDATION:**

To provide a recommendation on the zoning request to the City Council.

**BACKGROUND:**

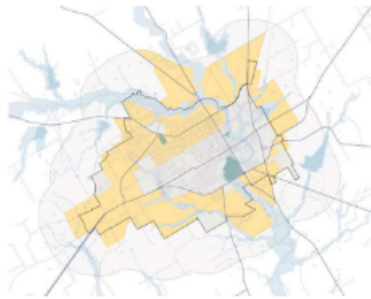
Staff have been approached by a developer team interested in building single-family homes. Future Land Use per Stephenville 2050 is Open Space/Complete Neighborhood. A conceptual site plan is under draft with Caporal Drive being the intended primary ingress and egress. The area will be serviced by the Harbin Drive extension per the Thoroughfare Plan. Proportional Right-of-Way dedication and construction of the improvement for the portion traversing this property will be required upon development.

**PROPERTY PROFILE:**



## Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



## Sec. 154.05.8 Integrated housing district (R-2.5).

**5.8.A Description.** This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

### 5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

### 5.8.C Conditional Uses.

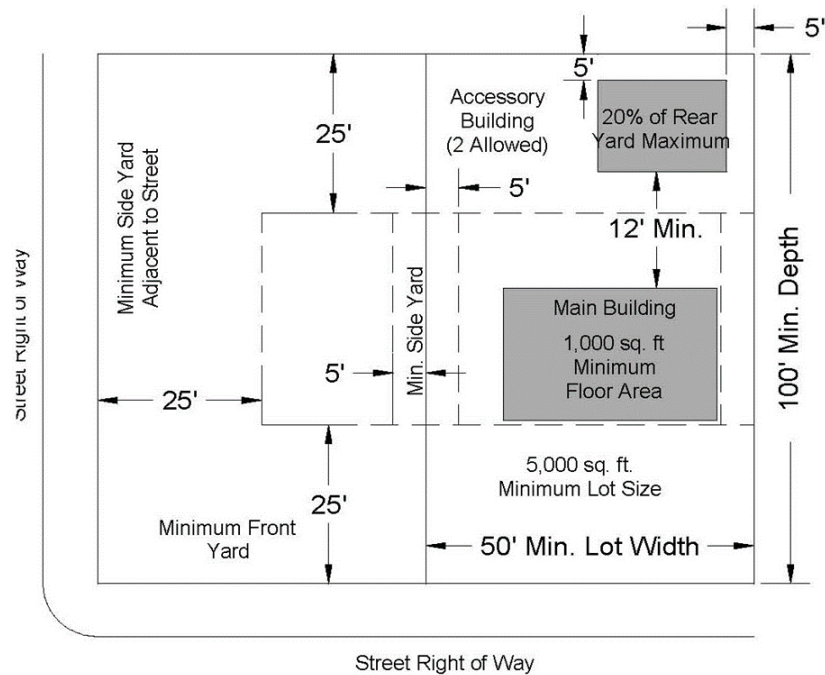
1. Home occupation;

2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

**5.8.D Height, Area, Yard and Lot Coverage Requirements.**

**A. Single family dwelling.**

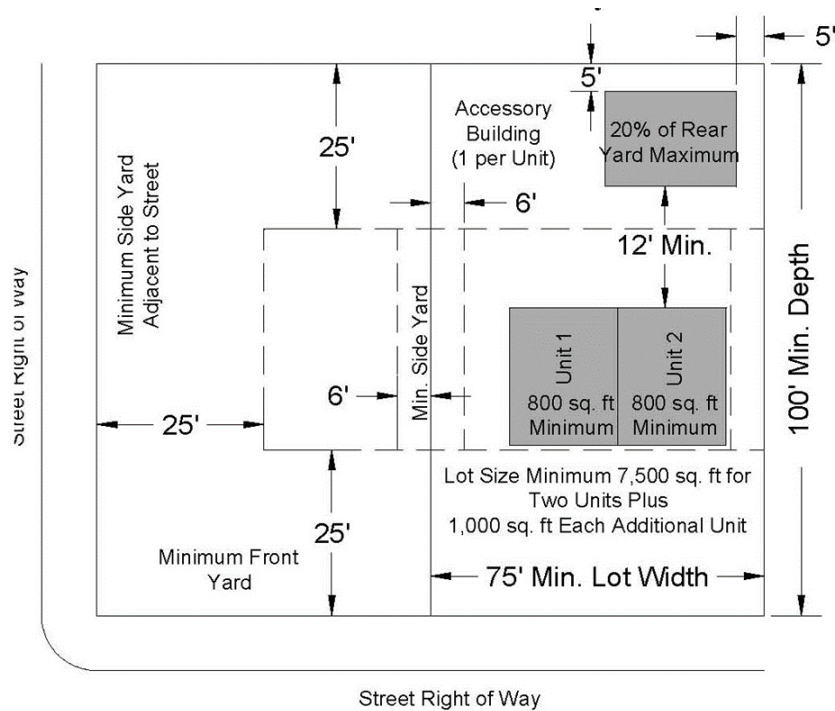
1. Minimum lot area: 3,000 ft<sup>2</sup> .
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Single family dwelling: 1,000 ft<sup>2</sup> .
8. Accessory buildings:
  - a. Maximum accessory buildings coverage of rear yard: 20%.
  - b. Maximum number of accessory buildings: one.
  - c. Minimum depth of side setback: five feet.
  - d. Minimum depth of rear setback: five feet.
  - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: six feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.
  - d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if

the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



c. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft<sup>2</sup> per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum building coverage as a percentage of lot area: 40%
  - b. Minimum area of each Townhouse dwelling unit: 800 ft<sup>2</sup>.
  - c. Minimum area of each Condominium of each dwelling unit: 500 ft<sup>2</sup> for one bedroom or less, plus 125 ft<sup>2</sup> of floor area for each additional bedroom.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.
  - d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.

9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

**5.8.E Parking Regulations.** Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for*

*vehicles* of this ordinance. ( Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

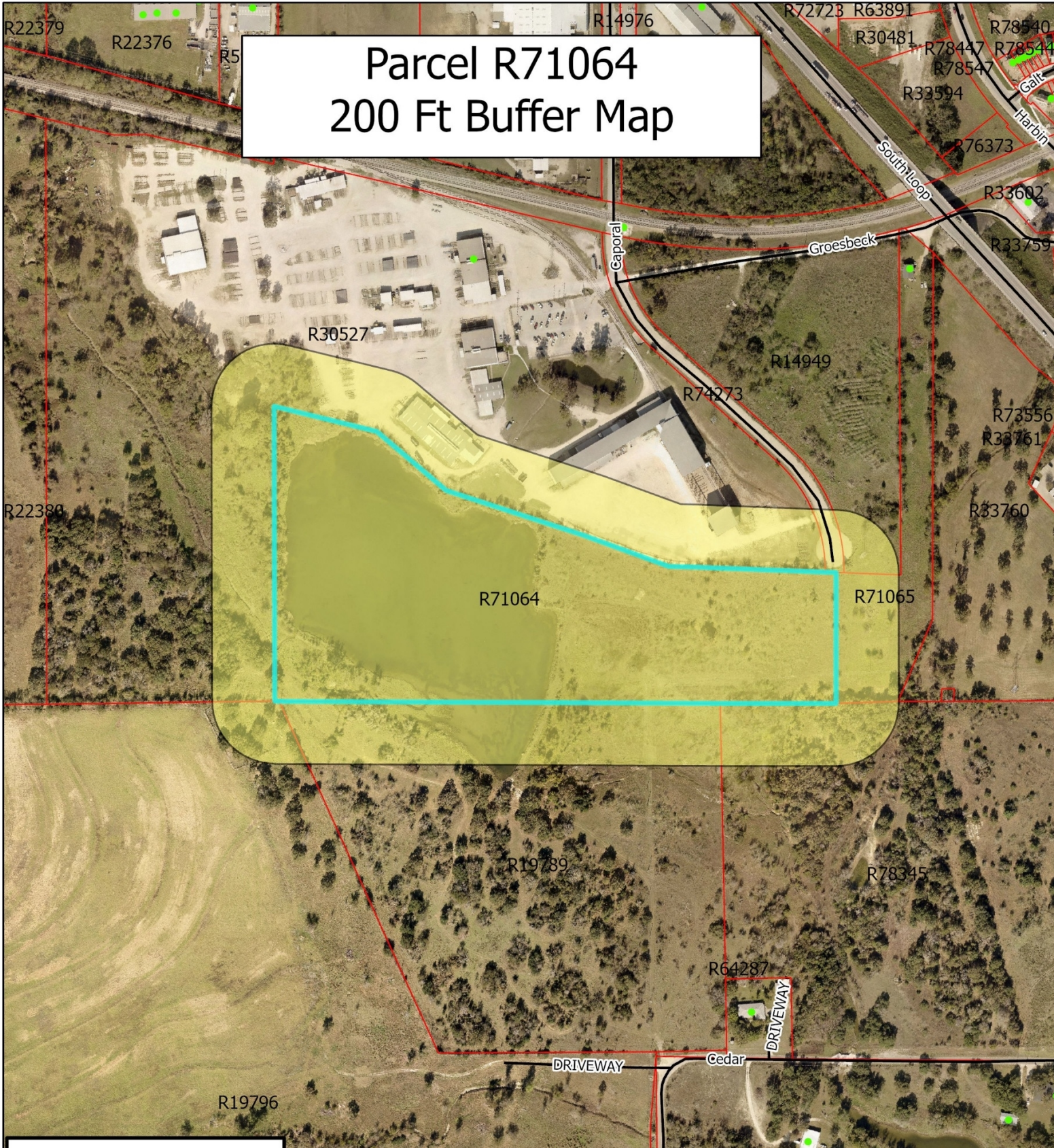
**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

**ALTERNATIVES:**

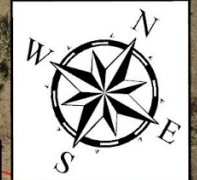
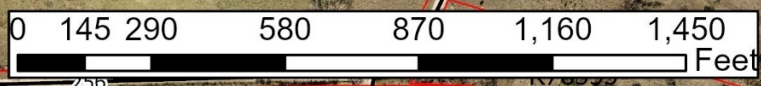
- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

# Parcel R71064 200 Ft Buffer Map



**Legend**

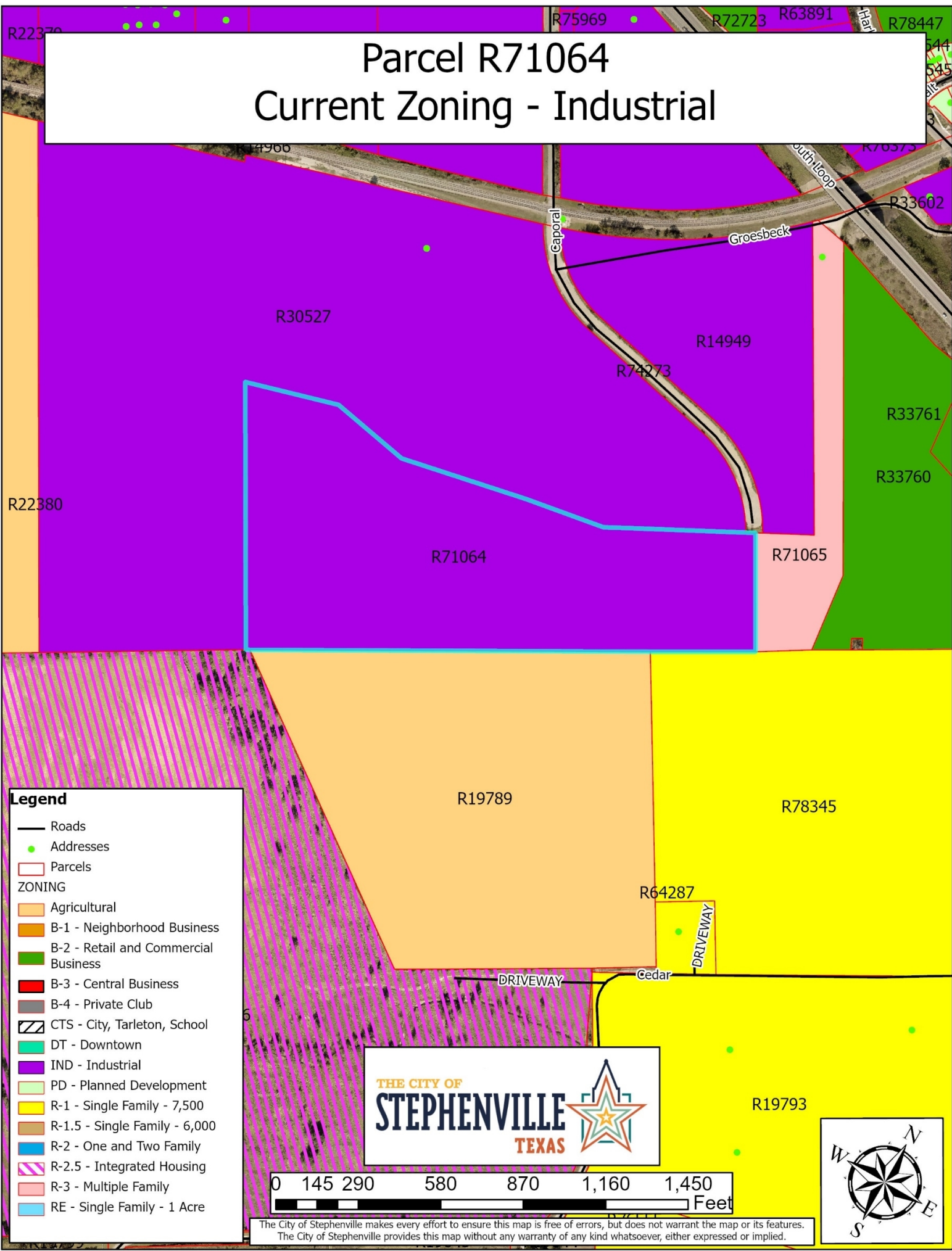
- Roads
- Addresses
- ▭ Parcels
- ▭ 200 Ft Buffer



The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

# Parcel R71064

## Current Zoning - Industrial

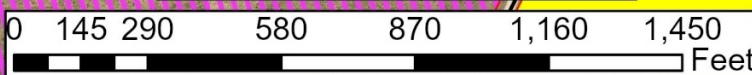


**Legend**

- Roads
- Addresses
- ▭ Parcels

**ZONING**

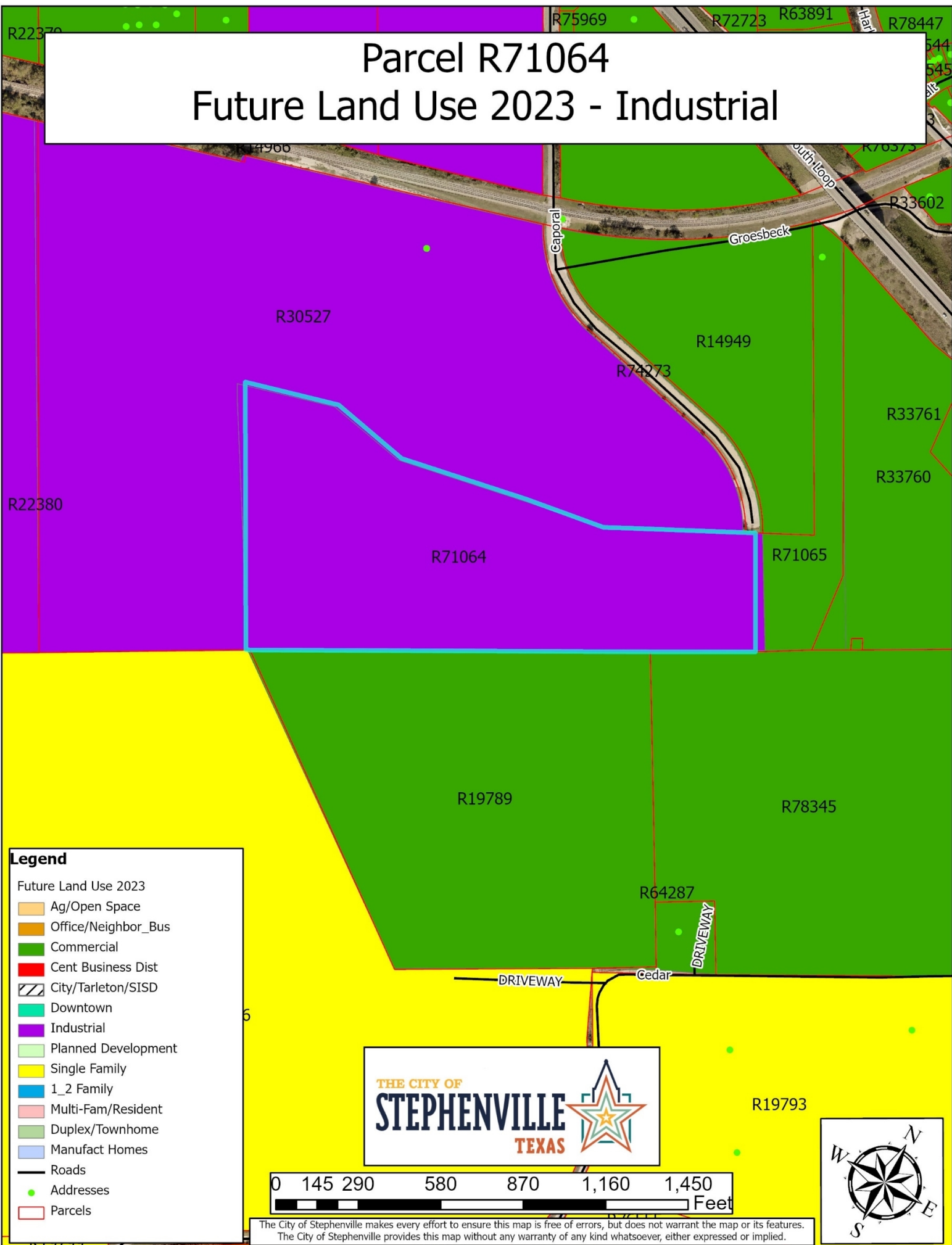
- ▭ Agricultural
- ▭ B-1 - Neighborhood Business
- ▭ B-2 - Retail and Commercial Business
- ▭ B-3 - Central Business
- ▭ B-4 - Private Club
- ▭ CTS - City, Tarleton, School
- ▭ DT - Downtown
- ▭ IND - Industrial
- ▭ PD - Planned Development
- ▭ R-1 - Single Family - 7,500
- ▭ R-1.5 - Single Family - 6,000
- ▭ R-2 - One and Two Family
- ▭ R-2.5 - Integrated Housing
- ▭ R-3 - Multiple Family
- ▭ RE - Single Family - 1 Acre



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# Parcel R71064

## Future Land Use 2023 - Industrial



**Legend**

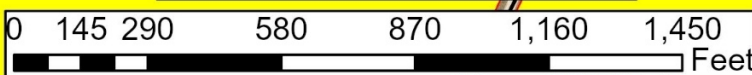
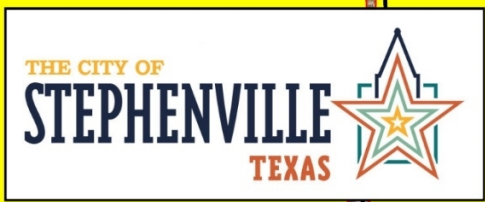
Future Land Use 2023

- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes

Roads

Addresses

Parcels

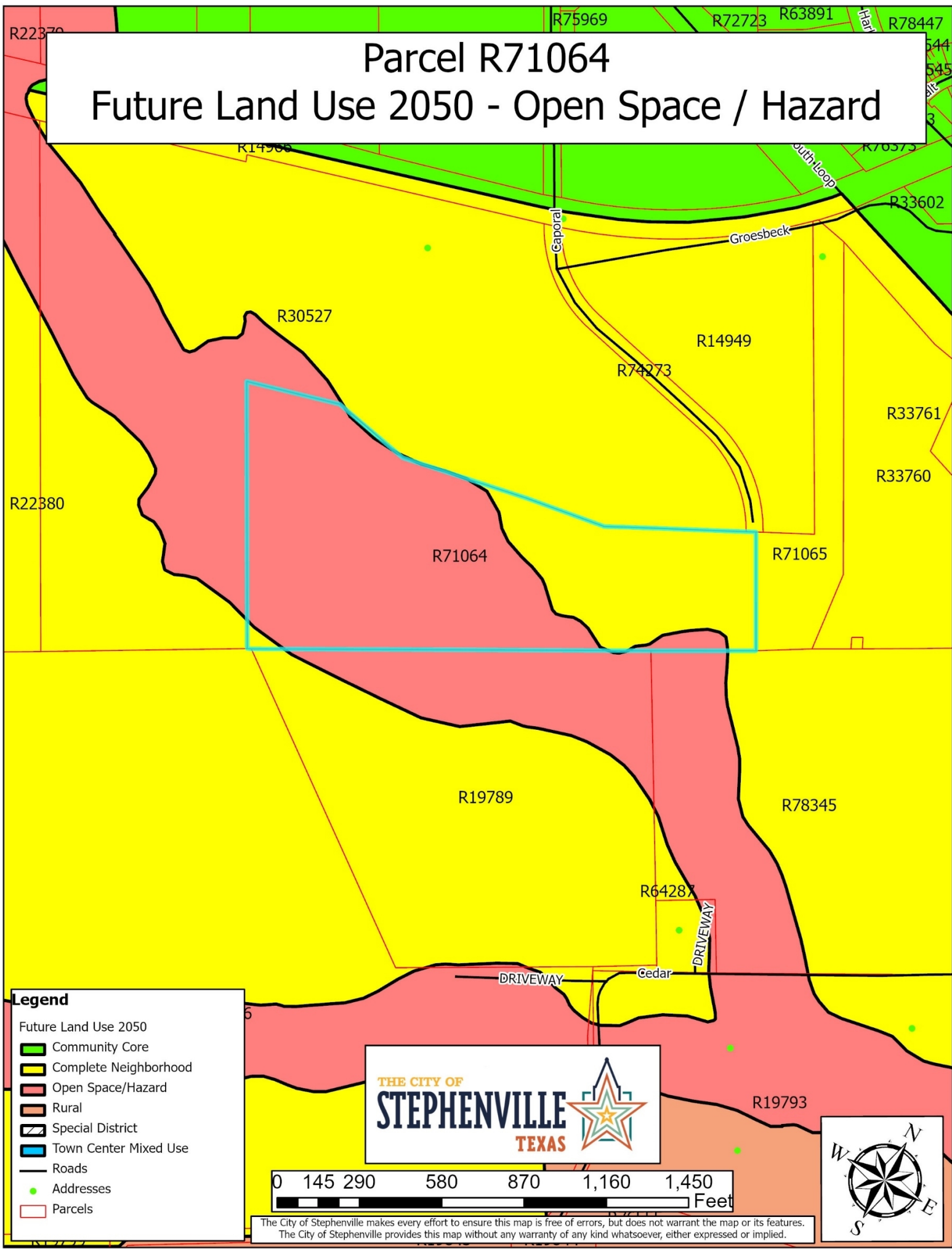


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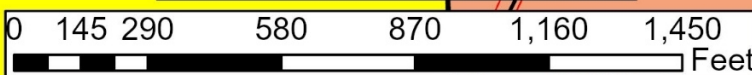
# Parcel R71064

## Future Land Use 2050 - Open Space / Hazard



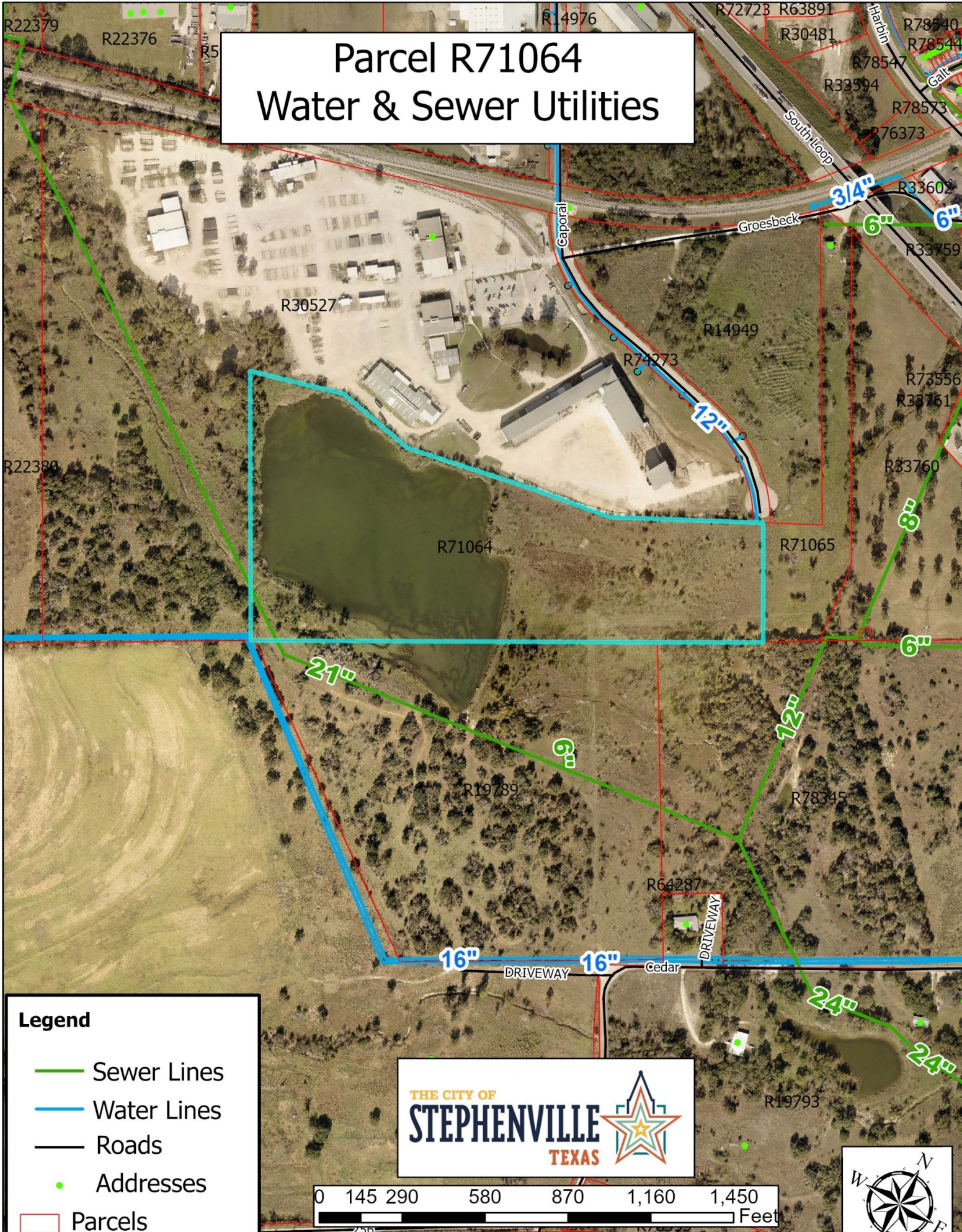
**Legend**

- Future Land Use 2050
  - Community Core
  - Complete Neighborhood
  - Open Space/Hazard
  - Rural
  - Special District
  - Town Center Mixed Use
- Roads
- Addresses
- Parcels



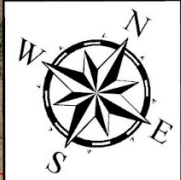
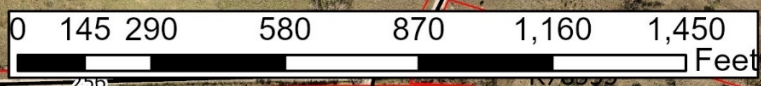
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# Parcel R71064 Water & Sewer Utilities



**Legend**

- Sewer Lines
- Water Lines
- Roads
- Addresses
- Parcels



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# Parcel R71064

## 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000033760	0 GROESBECK	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000074273	0 CAPORAL DR	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000071065	1900 GROESBECK	D818 LLC	PO BOX 1827	STEPHENVILLE	TX	76401
R000019789	0 CR256	LEE J RALPH & LINDA	PO BOX 24	HAMILTON	TX	76531
R000071064	0 CR256	LEE J RALPH & LINDA	PO BOX 24	HAMILTON	TX	76531
R000019796	0 CR256	MUZYKA LOUIS & GEORGE GRISSOM	4259 CR204	ALVARADO	TX	76009
R000078345	0 W CEDAR ST	ROCK CREEK PROPERTY NO 1, LLC	6110 N FM219	DUBLIN	TX	76446
R000030527	600 CAPORAL DR	TEJAS TUBULAR PRODUCTS	8526 GREEN RIVER DR	HOUSTON	TX	77028-2835
R000014949	0 CAPORAL DR	TEJAS TUBULAR PRODUCTS	8526 GREEN RIVER DR	HOUSTON	TX	77028-2835



REVISIONS		
#	REVISION	DATE

DEVELOPER/OWNER:  
 SKYLINE VILLAGE, LLC  
 3116 PAMPA  
 GRAND PRAIRIE, TX 75054  
 MIKE MCCOWN  
 (972) 814-4641  
 Mike67mccown@gmail.com

SITE PLAN EXHIBIT

STEPHENVILLE 55 ACRE DUPLEX DEVELOPMENT

**HSE HANNA SURVEYING & ENGINEERING LLC.**  
 ENGINEERING FIRM NUMBER F-22119  
 SURVEYING FIRM NUMBER 10194633  
 WWW.HANNA-SE.COM  
 SAH@HANNA-SE.COM  
 HANNA SURVEYING AND ENGINEERING, LLC.  
 1380 US 287 HWY. FRONT. RD SUITE 101  
 MAUSFIELD, TX 76063  
 (682) 553-9474

PRELIMINARY  
 FOR REVIEW ONLY  
 THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:  
 EVAN A. BYERS  
 P.E.# 154288

ISSUE DATE:  
 SEPT 11, 2025

PROJECT NO.:  
 25-1703

SHEET NUMBER

C-1.0

1 OF 1

D818 LLC  
 5.00 ACRES  
 DOCUMENT NO. 2025-00542

ROCK CREEK PROPERTY NO. 1, LLC  
 49.66 ACRES  
 DOCUMENT NO. 2024-00046

ROCK CREEK PROPERTY NO. 1, LLC  
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CAROLYN J. PECK  
 1.23 ACRES  
 DOCUMENT NO. 2016-02718

NATHAN COLLIER &  
 KRISTIN COLLIER  
 33.63 ACRES  
 DOCUMENT NO. 2023-02134

ERATH COUNTY  
 ROAD NO. 256

TEJAS TUBULAR STEPHENVILLE WORKS, LTD  
 DOCUMENT NO. 2024-06590

STEPHENVILLE INDUSTRIAL FOUNDATION INC.  
 20' SEWER LINE EASEMENT  
 VOL. 538, PG. 764

CITY OF STEPHENVILLE  
 20' SEWER LINE EASEMENT  
 VOL. 723, PG. 465

CITY OF STEPHENVILLE  
 10' PIPELINE LINE EASEMENT  
 VOL. 1057, PG. 361 & 366

LOUIS MUZYKA &  
 GEORGE GRISSOM  
 212.08 ACRES  
 DOCUMENT NO. 2022-06789

CITY OF STEPHENVILLE  
 20' SEWER LINE EASEMENT  
 VOL. 673, PG. 367

**SITE LEGEND**

- 55 ACRE PROPERTY LINE
- SUBDIVISION PROPERTY LINES
- EASEMENT
- BUILDING SETBACK
- ONE
- EXISTING OVERHEAD ELECTRIC
- EXISTING SANITARY SEWER
- EXISTING WATER
- TOWN HOMES
- SINGLE FAMILY
- DUPLEX
- FEMA - ZONE A

- NOTES:**
- THIS SITE PLAN EXHIBIT SHOWS:
    - 53 TOWNHOME LOTS
    - 76 SINGLE FAMILY LOTS
    - 35 DUPLEX LOTS
  - TYPICAL LOT DIMENSIONS:
    - TOWNHOME: 30' WIDE BY 100' DEEP
    - SINGLE FAMILY: 50' WIDE BY 60' DEEP
    - DUPLEX: 75' WIDE BY 100' DEEP
  - THIS SITE PLAN EXHIBIT DOES NOT INCLUDE DETENTION AREAS.
  - IF THE DRAINAGE STUDY DETERMINES THAT DETENTION PONDS ARE REQUIRED, LOTS WILL BE LOST TO CONSTRUCT THE DETENTION POND.

# STAFF REPORT

**SUBJECT:** Case No.: RZ 2025-9196

Applicant James Ralph Lee is requesting a rezone of property located at 0 CR 256, Parcel R19789, being approximately 29.9 acres of the AO342 H.C. Hudson abstract of the City of Stephenville, Erath County, Texas from “Ag” Agricultural, to “R-2.5” Integrated Housing.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

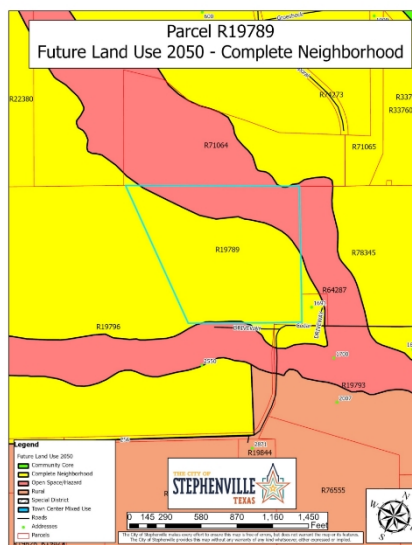
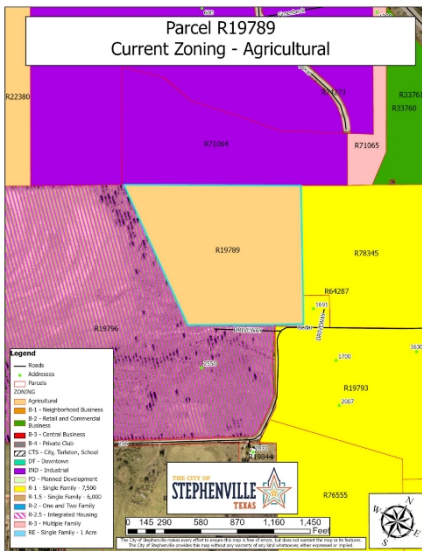
**RECOMMENDATION:**

To provide a recommendation on the zoning request to the City Council.

**BACKGROUND:**

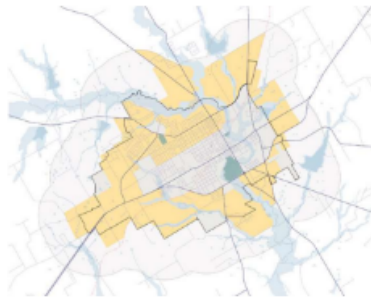
Staff have been approached by a developer team interested in building single-family homes. Future Land Use per Stephenville 2050 is Open Space/Complete Neighborhood. A conceptual site plan is under draft with Caporal Drive being the intended primary ingress and egress. The area will be serviced by the Harbin Drive extension per the Thoroughfare Plan. Proportional Right-of-Way dedication and construction of the improvement for the portion traversing this property will be required upon development.

**PROPERTY PROFILE:**



## Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



### Sec. 154.05.8 Integrated housing district (R-2.5).

**5.8.A Description.** This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

#### 5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

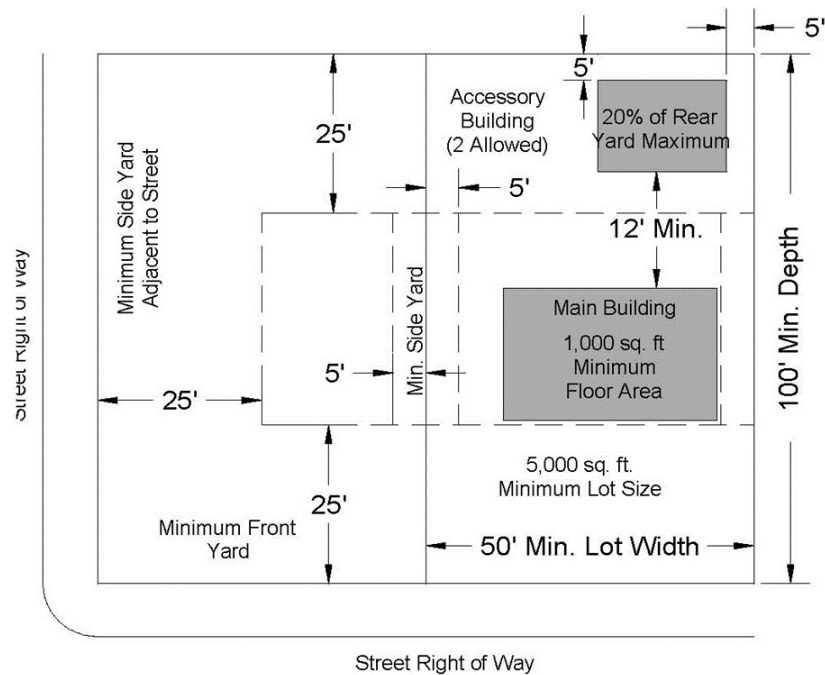
#### 5.8.C Conditional Uses.

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

**5.8.D Height, Area, Yard and Lot Coverage Requirements.**

**A. Single family dwelling.**

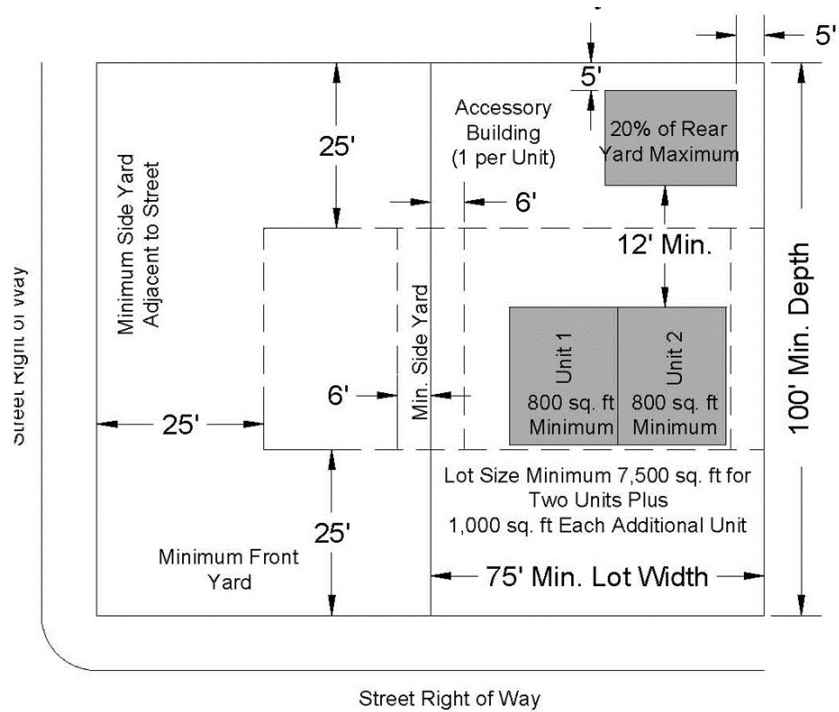
1. Minimum lot area: 3,000 ft<sup>2</sup>.
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Single family dwelling: 1,000 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory buildings coverage of rear yard: 20%.
  - b. Maximum number of accessory buildings: one.
  - c. Minimum depth of side setback: five feet.
  - d. Minimum depth of rear setback: five feet.
  - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: six feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.
  - d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.

10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



C. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft<sup>2</sup> per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum building coverage as a percentage of lot area: 40%
  - b. Minimum area of each Townhouse dwelling unit: 800 ft<sup>2</sup>.
  - c. Minimum area of each Condominium of each dwelling unit: 500 ft<sup>2</sup> for one bedroom or less, plus 125 ft<sup>2</sup> of floor area for each additional bedroom.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.

- d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
  10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
  11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
  12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

**5.8.E Parking Regulations.** Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles of*

this ordinance. ( Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

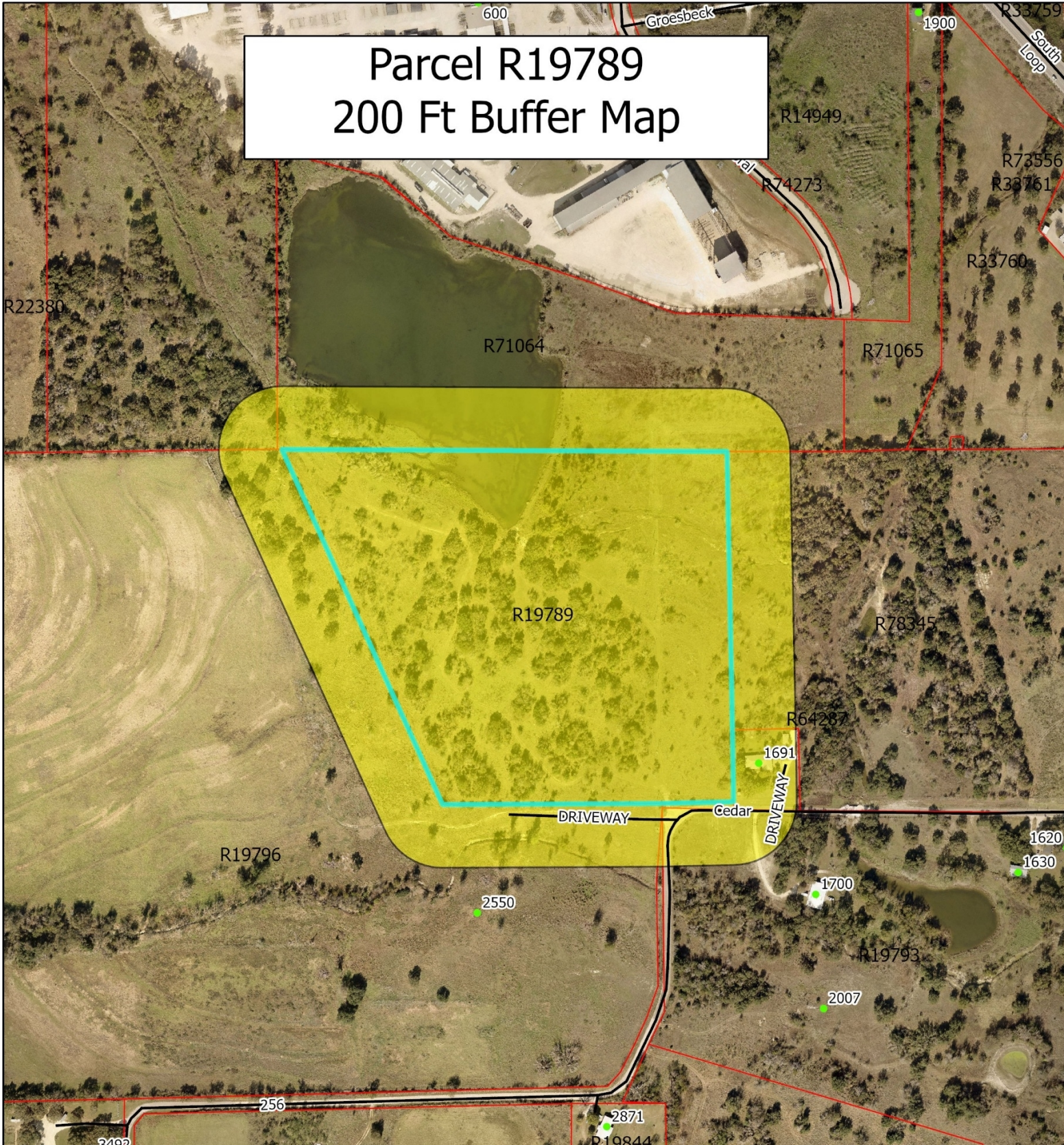
**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

**ALTERNATIVES:**

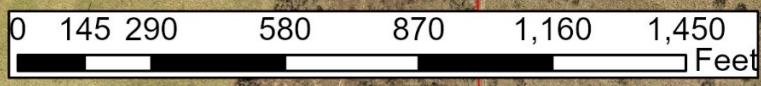
- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

# Parcel R19789 200 Ft Buffer Map

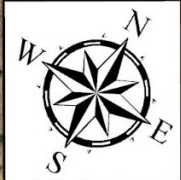


**Legend**

- Roads
- Addresses
- ▭ Parcels
- ▭ 200 Ft Buffer

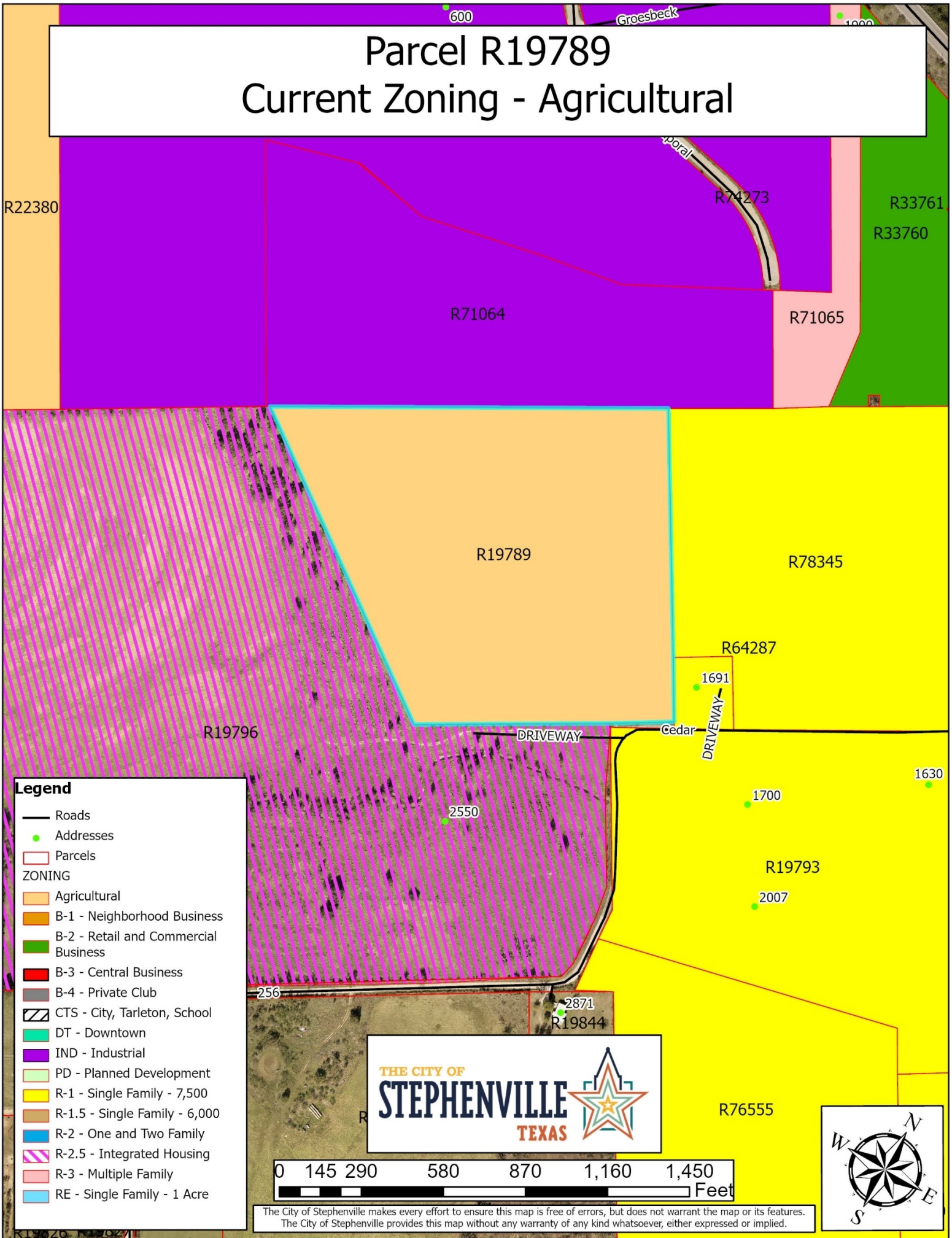


The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.



# Parcel R19789

## Current Zoning - Agricultural

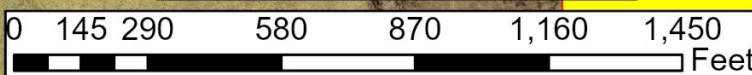


**Legend**

- Roads
- Addresses
- ▭ Parcels

**ZONING**

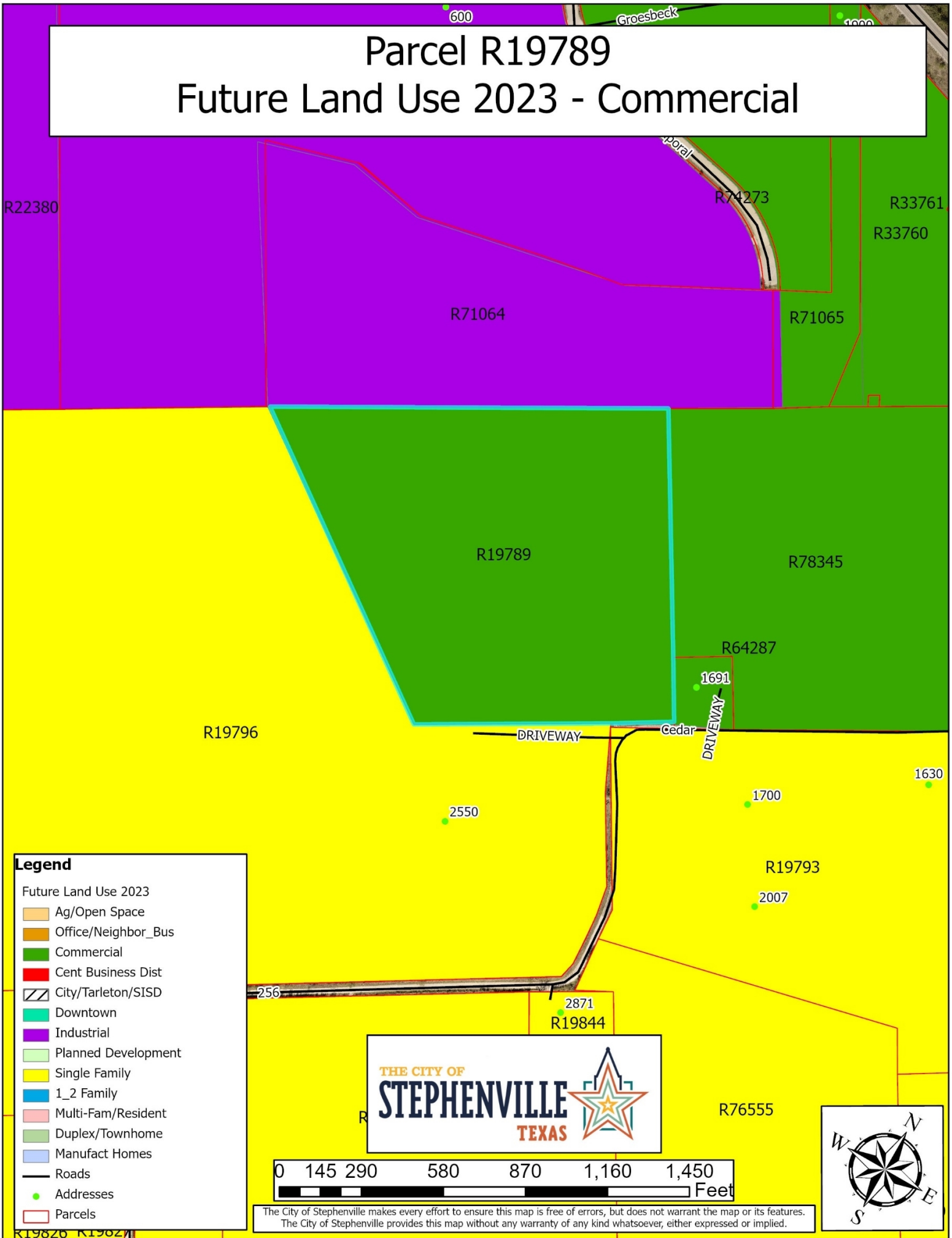
- ▭ Agricultural
- ▭ B-1 - Neighborhood Business
- ▭ B-2 - Retail and Commercial Business
- ▭ B-3 - Central Business
- ▭ B-4 - Private Club
- ▭ CTS - City, Tarleton, School
- ▭ DT - Downtown
- ▭ IND - Industrial
- ▭ PD - Planned Development
- ▭ R-1 - Single Family - 7,500
- ▭ R-1.5 - Single Family - 6,000
- ▭ R-2 - One and Two Family
- ▭ R-2.5 - Integrated Housing
- ▭ R-3 - Multiple Family
- ▭ RE - Single Family - 1 Acre



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# Parcel R19789

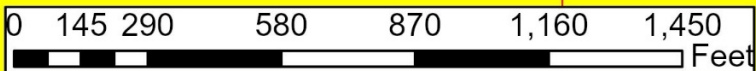
## Future Land Use 2023 - Commercial



**Legend**

Future Land Use 2023

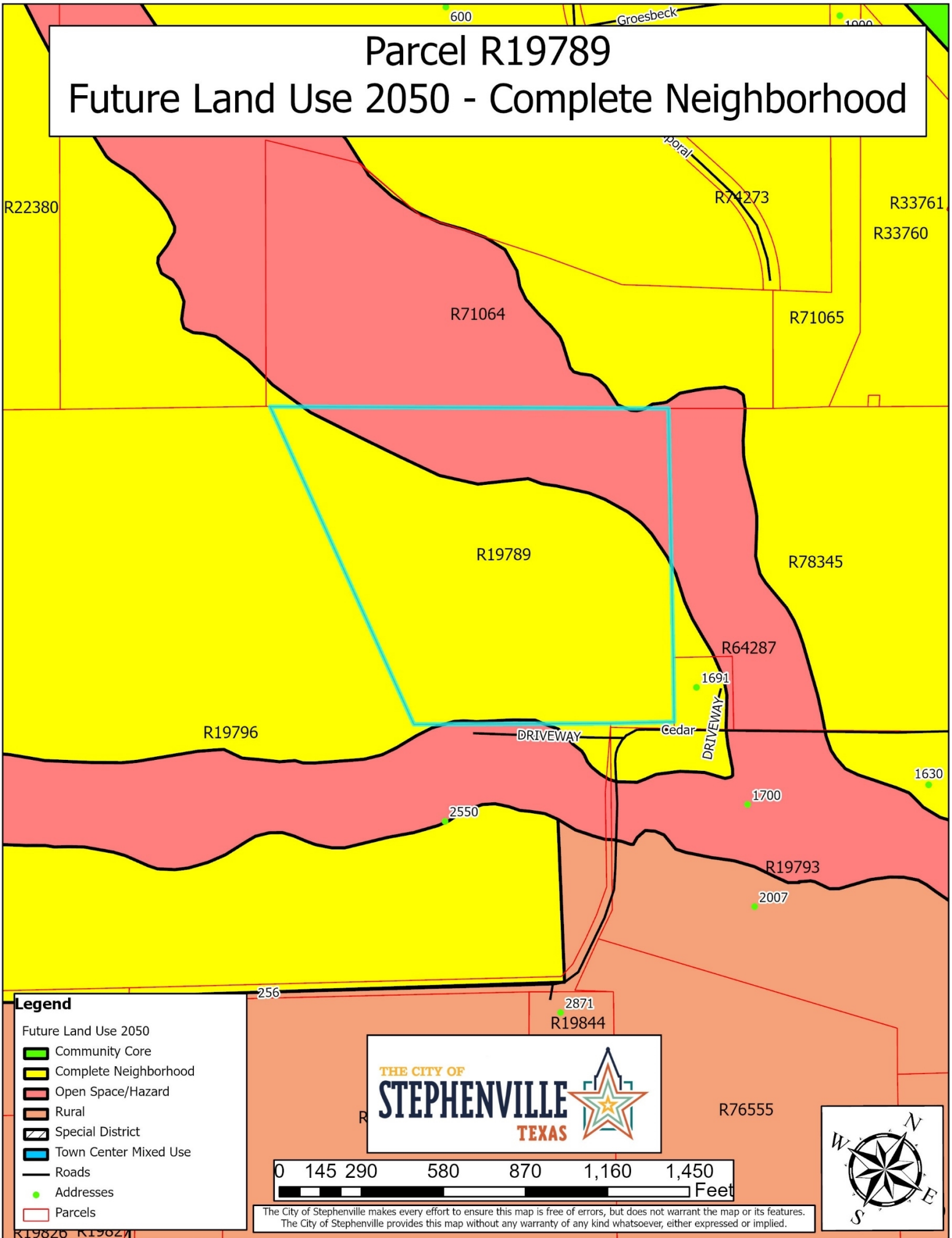
- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes
- Roads
- Addresses
- Parcels



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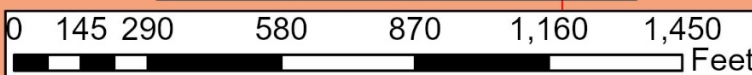
# Parcel R19789

## Future Land Use 2050 - Complete Neighborhood



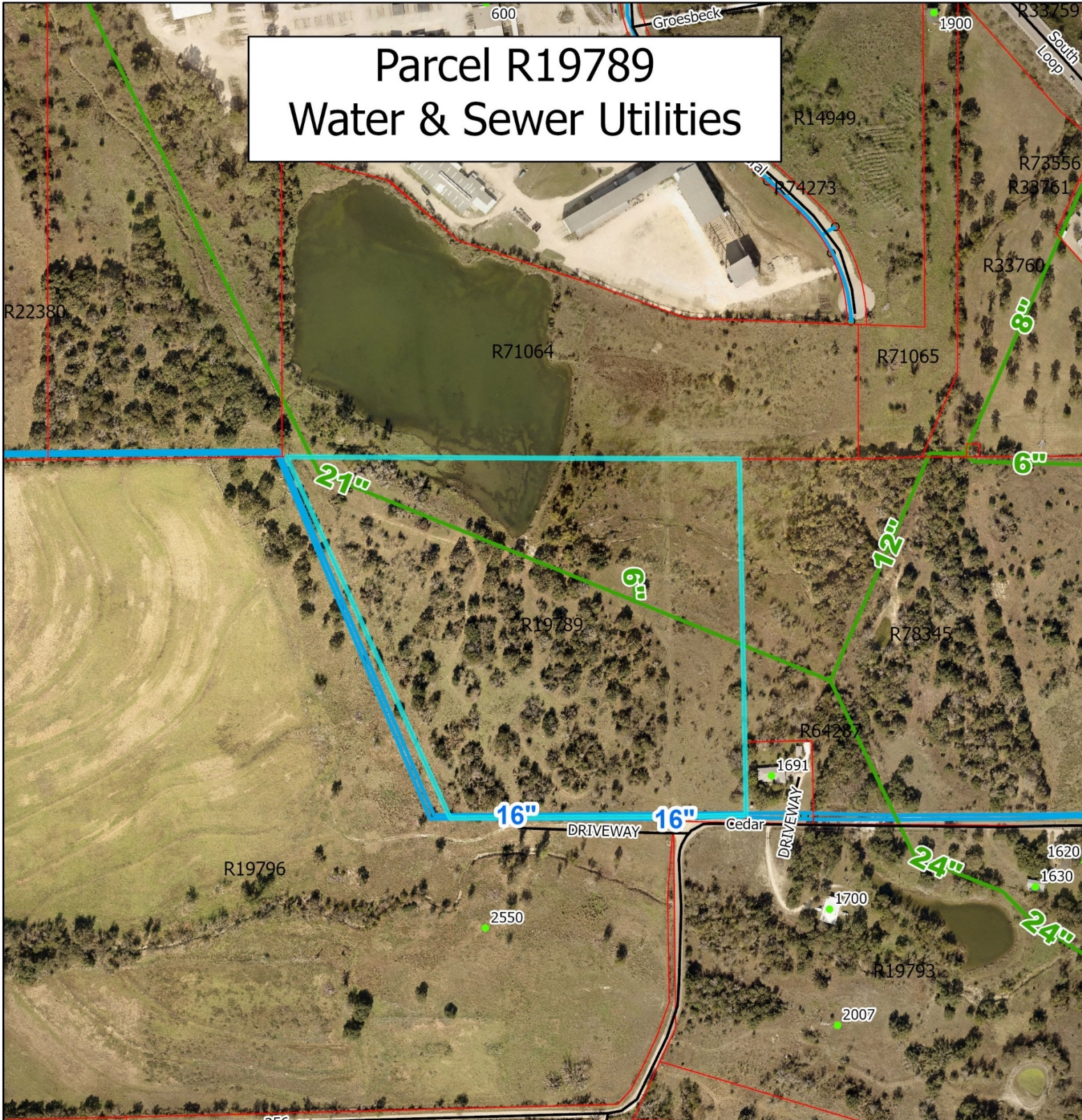
**Legend**

- Future Land Use 2050
- Community Core
- Complete Neighborhood
- Open Space/Hazard
- Rural
- Special District
- Town Center Mixed Use
- Roads
- Addresses
- Parcels



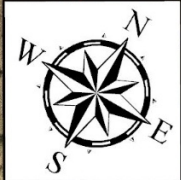
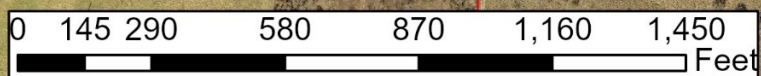
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# Parcel R19789 Water & Sewer Utilities



## Legend

- Sewer Lines
- Water Lines
- Roads
- Addresses
- Parcels



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## Parcel R19789

### 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000019793	1620 W CEDAR ST	COLLIER NATHAN & KRISTIN	997 N LYDIA	STEPHENVILLE	TX	76401
R000019789	0 CR256	LEE J RALPH & LINDA	PO BOX 24	HAMILTON	TX	76531
R000071064	0 CR256	LEE J RALPH & LINDA	PO BOX 24	HAMILTON	TX	76531
R000019796	0 CR256	MUZYKA LOUIS & GEORGE GRISSOM	4259 CR204	ALVARADO	TX	76009
R000064287	1691 W CEDAR ST	PEEK CAROLYN J	1691 W CEDAR	STEPHENVILLE	TX	76401
R000078345	0 W CEDAR ST	ROCK CREEK PROPERTY NO 1, LLC	6110 N FM219	DUBLIN	TX	76446
R000030527	600 CAPORAL DR	TEJAS TUBULAR PRODUCTS	8526 GREEN RIVER DR	HOUSTON	TX	77028-2835



REVISIONS		
#	REVISION	DATE

DEVELOPER/OWNER:  
 SKYLINE VILLAGE, LLC  
 3116 PAMPA  
 GRAND PRAIRIE, TX 75054  
 MIKE MCCOWN  
 (972) 814-4641  
 Mike67mccown@gmail.com

SITE PLAN EXHIBIT

STEPHENVILLE 55 ACRE DUPLEX DEVELOPMENT

**HSE HANNA SURVEYING & ENGINEERING LLC.**  
 HANNA SURVEYING AND ENGINEERING, LLC.  
 1380 US 287 HWY. FRONT. RD SUITE 101  
 MAUSFIELD, TX 76063  
 (682) 553-9474  
 ENGINEERING FIRM NUMBER F-22119  
 SURVEYING FIRM NUMBER 10194633  
 WWW.HANNA-SE.COM  
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 EVAN A. BYERS  
 P.E.# 154288

ISSUE DATE:  
 SEPT 11, 2025

PROJECT NO.:  
 25-1703

SHEET NUMBER

C-1.0

1 OF 1

**SITE LEGEND**

- 55 ACRE PROPERTY LINE
- - - SUBDIVISION PROPERTY LINES
- - - EASEMENT
- - - BUILDING SETBACK
- - - EXISTING OVERHEAD ELECTRIC
- - - EXISTING SANITARY SEWER
- - - EXISTING WATER
- TOWN HOMES
- SINGLE FAMILY
- DUPLEX
- FEMA - ZONE A

- NOTES:**
- THIS SITE PLAN EXHIBIT SHOWS:
    - 53 TOWNHOME LOTS
    - 76 SINGLE FAMILY LOTS
    - 35 DUPLEX LOTS
  - TYPICAL LOT DIMENSIONS:
    - TOWNHOME: 30' WIDE BY 100' DEEP
    - SINGLE FAMILY: 50' WIDE BY 60' DEEP
    - DUPLEX: 75' WIDE BY 100' DEEP
  - THIS SITE PLAN EXHIBIT DOES NOT INCLUDE DETENTION AREAS.
  - IF THE DRAINAGE STUDY DETERMINES THAT DETENTION PONDS ARE REQUIRED, LOTS WILL BE LOST TO CONSTRUCT THE DETENTION POND.

D818 LLC  
 5.00 ACRES  
 DOCUMENT NO. 2025-00542

ROCK CREEK PROPERTY NO. 1, LLC  
 49.66 ACRES  
 DOCUMENT NO. 2024-00046

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STEPHENVILLE INDUSTRIAL FOUNDATION INC.  
 20' SEWER LINE EASEMENT  
 VOL. 538, PG. 764

CITY OF STEPHENVILLE  
 20' SEWER LINE EASEMENT  
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CITY OF STEPHENVILLE  
 10' PIPELINE LINE EASEMENT  
 VOL. 1057, PG. 361 & 366

LOUIS MUZYKA &  
 GEORGE GRISSOM  
 212.08 ACRES  
 DOCUMENT NO. 2022-06789

CITY OF STEPHENVILLE  
 20' SEWER LINE EASEMENT  
 VOL. 673, PG. 367

# STAFF REPORT

**SUBJECT:** Case No.: RZ 2025-9140

Applicant Charles Vance Wade, representing WW Investments, LLC., is requesting a rezone of property located at 955 N Ollie, Parcel R77978, being BLK 5; LOT 4R of the S4400 KIGHT SECOND ADDITION of the City of Stephenville, Erath County, Texas from “R-2.5”, Integrated Housing, to “R-3,” Multiple Family Residential.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

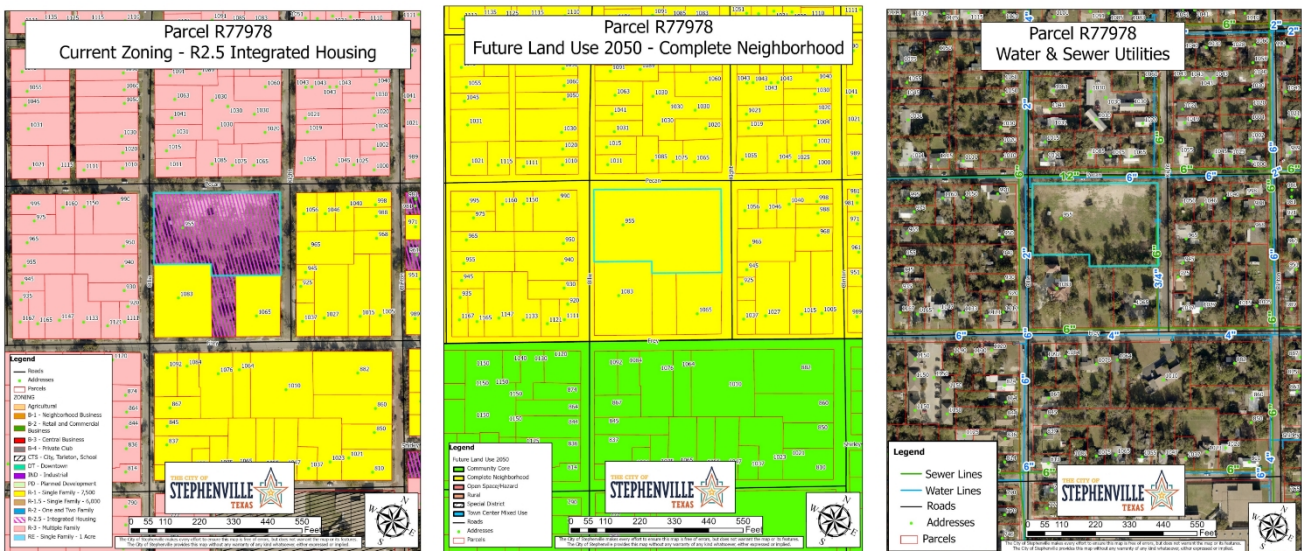
**RECOMMENDATION:**

To provide a recommendation on the zoning request to the City Council.

**BACKGROUND:**

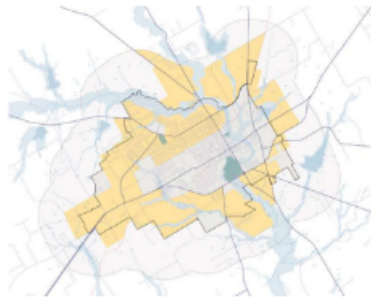
Mr. Wade acquired the property known as the Chandler Mansion. He is requesting the undeveloped lots bordered by Frey, Ollie, Pecan and Kight be rezoned from R-2.5 to R-3. This property was replatted and rezoned from R-1 to R-2.5 by the previous owner in late 2021. As the property is developed additional Right-of-Way dedication will be required along Ollie street.

**PROPERTY PROFILE:**



## Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



## Sec. 154.05.6. Multiple family residential district (R-3).

**5.6.A Description.** This residential district provides for medium to high-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, and multiple family housing buildings and complexes platted as one parcel and sole source management. All R-3 zoning will be appropriate to a city-style neighborhood. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

### 5.6.B Permitted Uses.

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than four individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than four unrelated individuals;
- (2) Two-to-four family dwellings, with each family limited as in division (1) above;
- (3) Multiple family dwellings, with each family limited as in division (1) above; Student living complexes will be subject to a variance request for units designed to occupy more than four unrelated students per unit;
- (4) Assisted living center;
- (5) Convalescent, nursing or long term-care facility;
- (6) Retirement housing complex;
- (7) Accessory buildings;
- (8) Churches, temples, mosques and related facilities;
- (9) Community home;
- (10) Park or playground;
- (11) SISD school—public;

- (12) Bed and breakfast/boarding house;
- (13) Group day care home;
- (14) Registered family home;
- (15) Day care center; and
- (16) Fraternity or sorority house.

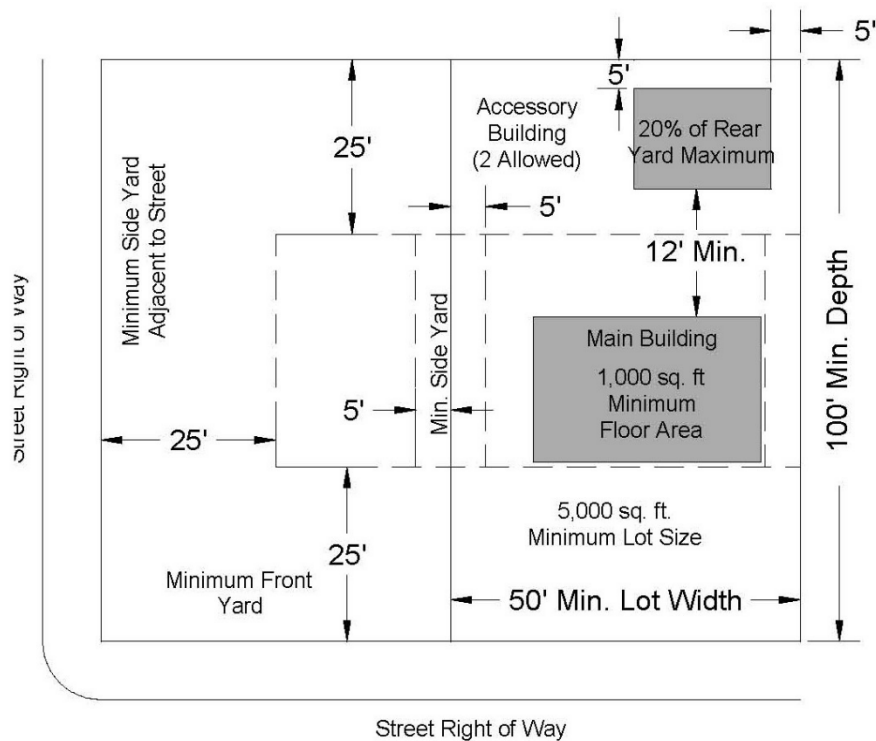
**5.6.C Conditional Uses.**

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision;
- (3) Adult and/or children's day care centers;
- (4) Foster group home; and
- (5) Residence hall.

**5.6.D Height, Area, Yard and Lot Coverage Requirements.**

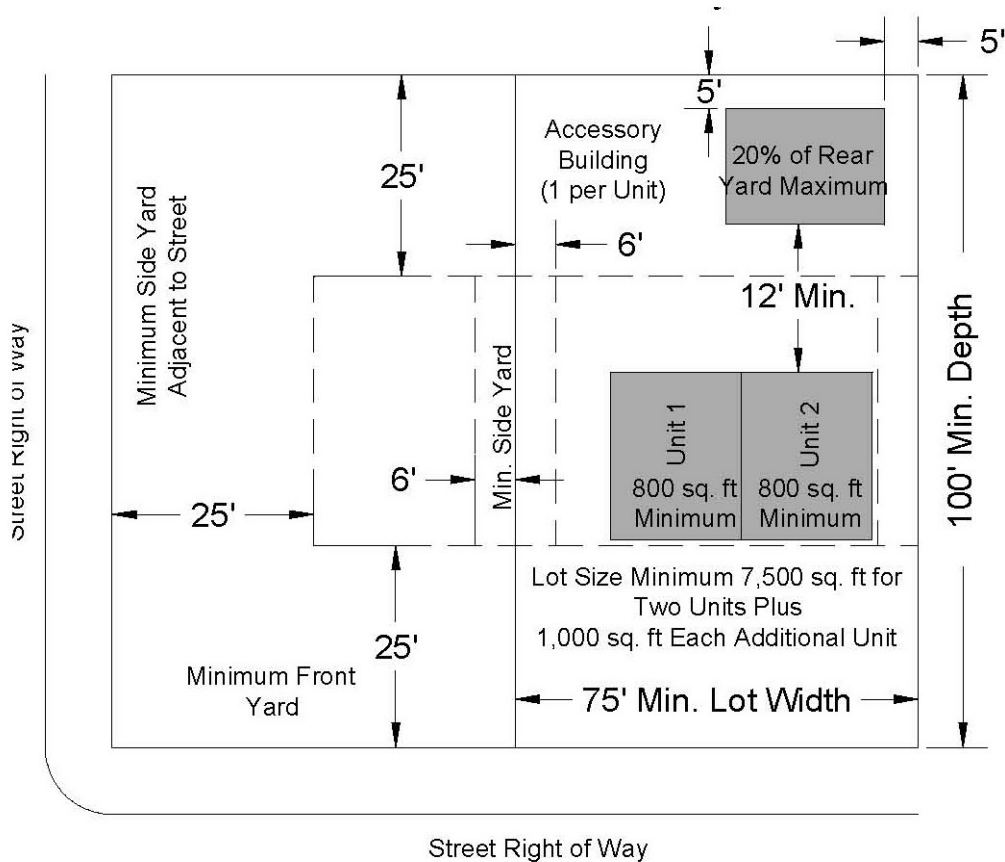
(A) *Single family dwelling.*

- (1) Minimum lot area: 5,000 ft<sup>2</sup>.
- (2) Minimum lot width and lot frontage: 50 feet.
- (3) Minimum lot depth: 100 feet.
- (4) Minimum depth of front setback: 25 feet.
- (5) Minimum depth of rear setback: 25 feet.
- (6) Minimum width of side setback:
  - (a) Internal lot: five feet.
  - (b) Corner lot: 25 feet from intersecting side street.
- (7) Building size:
  - (a) Maximum coverage as a percentage of lot area: 40%.
  - (b) Single family dwelling: 1,000 ft<sup>2</sup>.
- (8) Accessory buildings:
  - (a) Maximum accessory buildings coverage of rear yard: 20%.
  - (b) Maximum number of accessory buildings: one.
  - (c) Minimum depth of side setback: five feet.
  - (d) Minimum depth of rear setback: five feet.
  - (e) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



(B) *Two-to-four family.*

- (1) Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
- (2) Minimum lot width and lot frontage: 75 feet.
- (3) Minimum lot depth: 100 feet.
- (4) Minimum depth of front setback: 25 feet.
- (5) Minimum depth of rear setback: 25 feet.
- (6) Minimum width of side setback:
  - (a) Internal lot: six feet.
  - (b) Corner lot: 25 feet from intersecting side street.
- (7) Building size:
  - (a) Maximum coverage as a percentage of lot area: 40%.
  - (b) Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
- (8) Accessory buildings:
  - (a) Maximum accessory building coverage of rear yard: 20%.
  - (b) Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - (c) Maximum number of accessory buildings: one per unit.
  - (d) Minimum depth of side setback: five feet.
  - (e) Minimum depth of rear setback: five feet.
  - (f) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



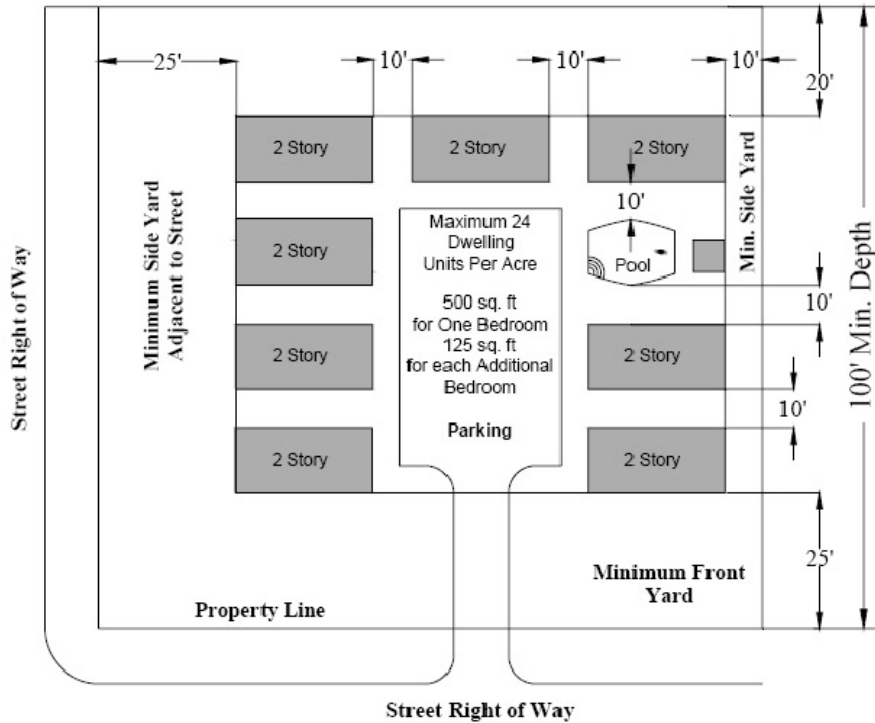
(C) *Reserved.*

(D) *Multiple family dwellings.*

- (1) Minimum lot area: maximum density of 24 dwelling units per acre, which includes parking, access and all other area improvements.
- (2) Minimum lot depth: 100 feet.
- (3) Minimum depth of front setback: 25 feet.
- (4) Minimum depth of rear setback: 20 feet.
- (5) Minimum width of side setback:
  - (a) Internal lot: ten feet.
  - (b) Corner lot: 25 feet from intersecting side street.
- (6) Building size: Minimum area of each dwelling unit: 500 ft<sup>2</sup> for one bedroom or less plus 125 ft<sup>2</sup> of floor area for each additional bedroom.
- (7) Maximum height of structures: 35 feet.
- (8) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

**5.6.D Height, Area, Yard and Lot Coverage Requirements**

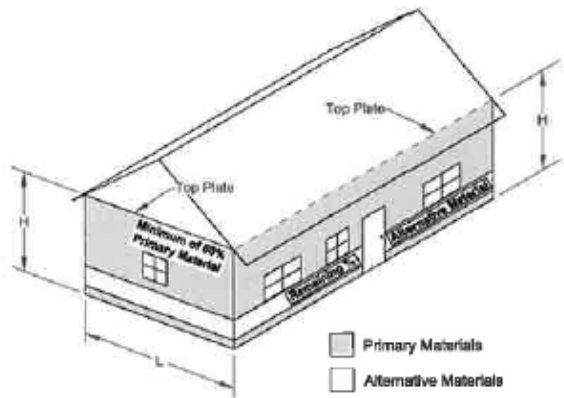
**Multiple Family Dwelling**



**5.6.E Parking Regulations.** Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles* of this ordinance. Student housing whereby individual rooms are leased by unit must require 1.5 spaces per rented bed.

**5.6.F Type of Construction.**

- (1) The exterior walls of all new dwellings to the top plate, shall be constructed of at least 80% of the total exterior walls of primary materials, excluding doors, windows, and porches. See Section 10.E(1): Exterior Building Material Standard—Primary Materials.
- (2) Any remaining exterior walls of all new dwellings shall construct the remaining exterior walls of alternative materials. See Section 10.E(2): Exterior Building Material Standard—Alternative Materials.
- (3) Existing dwellings expanding the total square footage of the building 50% or less, or modifying the exterior walls, may use the same exterior construction material as the existing primary building. If the material is not available, similar material may be used if approved by the Community Development Director.
- (4) Existing dwellings expanding the total square footage of the building more than 50%, or proposing to use a material inconsistent with the primary structure for any expansion, must meet the 80% minimum primary materials, Section 10.E: Exterior Building Material Standard, for the total exterior walls of the structure.



**NEW CONSTRUCTION**

Total Exterior Wall shall equal 80% of Primary Materials. Any remaining percentage shall be constructed of Alternative Materials. (Windows & Doors are excluded)

**EXISTING STRUCTURES**

1. Expanding or modifying the footage of the building 50% or less, may use the same exterior material as the existing primary building. If not available, approval is need from the Community Development Director.
2. Expanding or modifying the footage of the building 50% or more, must use 80% Primary Materials and any remaining percentage shall be constructed of Alternative Materials.
3. Windows and Doors are excluded.

(Am. Ord. 2007-24, passed 12-4-2007; Am. Ord. 2008-13, passed 7-1-2008; Ord. 2011-26, passed 12-6-2011; Am. Ord. 2021-O-29, § 1, passed 9-7-2021; Am. Ord. 2024-O-33, § 1, passed 11-5-2024)

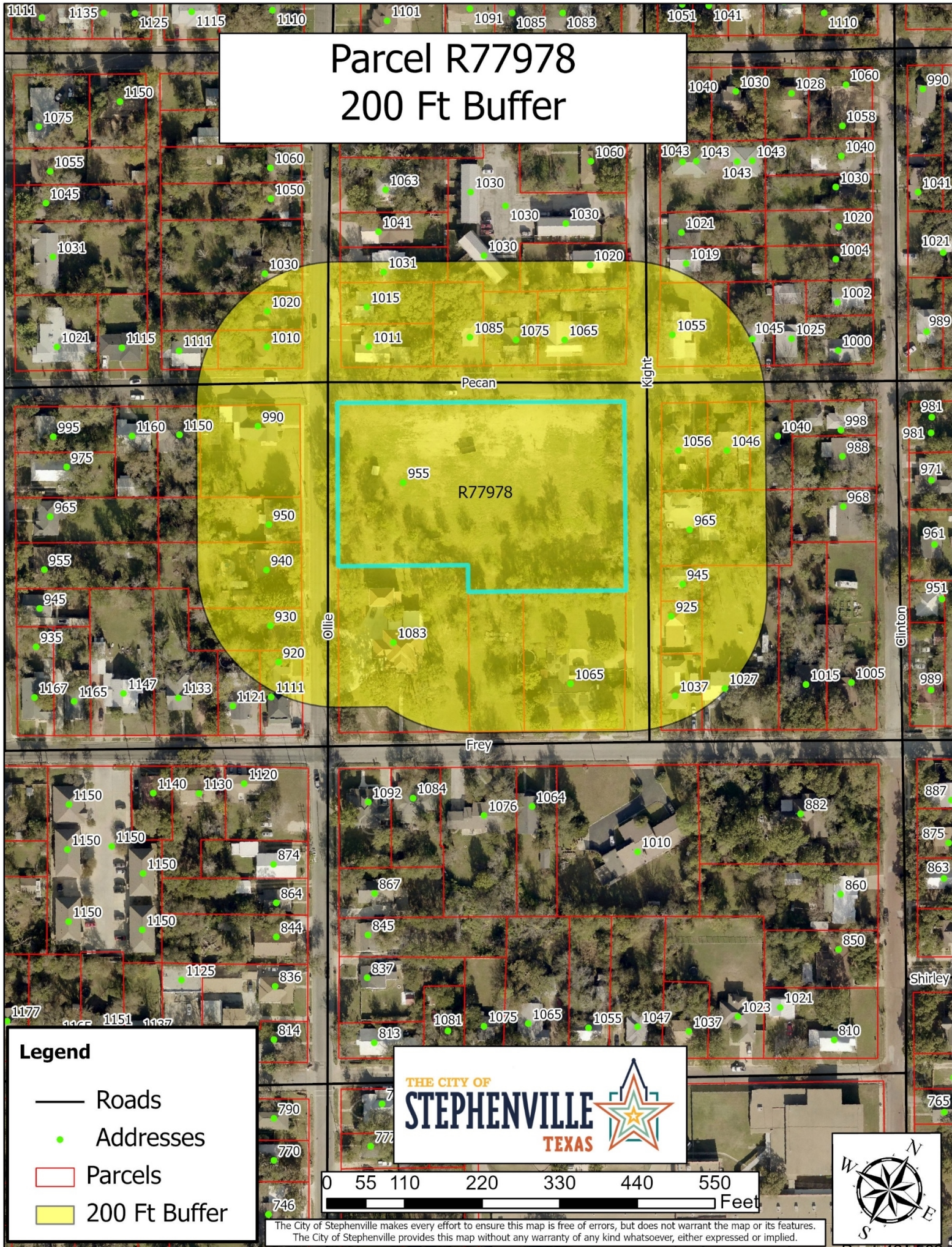
**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

**ALTERNATIVES:**

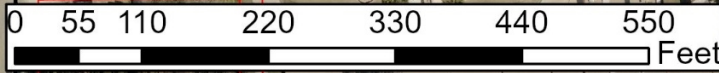
- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

# Parcel R77978 200 Ft Buffer



**Legend**

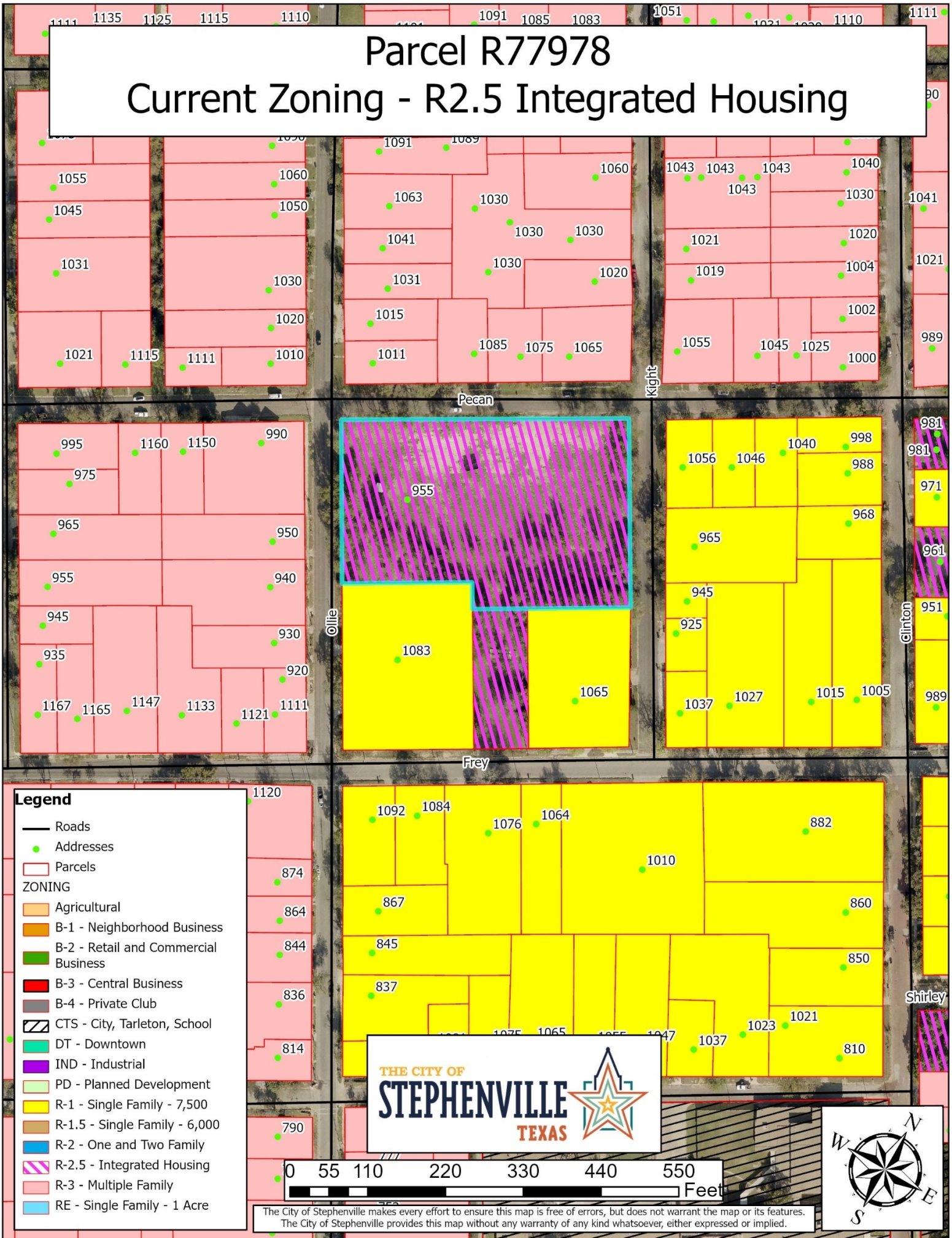
- Roads
- Addresses
- ▭ Parcels
- ▭ 200 Ft Buffer



The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

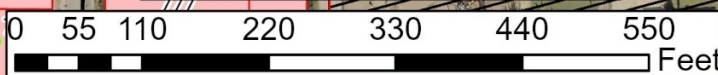
# Parcel R77978

## Current Zoning - R2.5 Integrated Housing



**Legend**

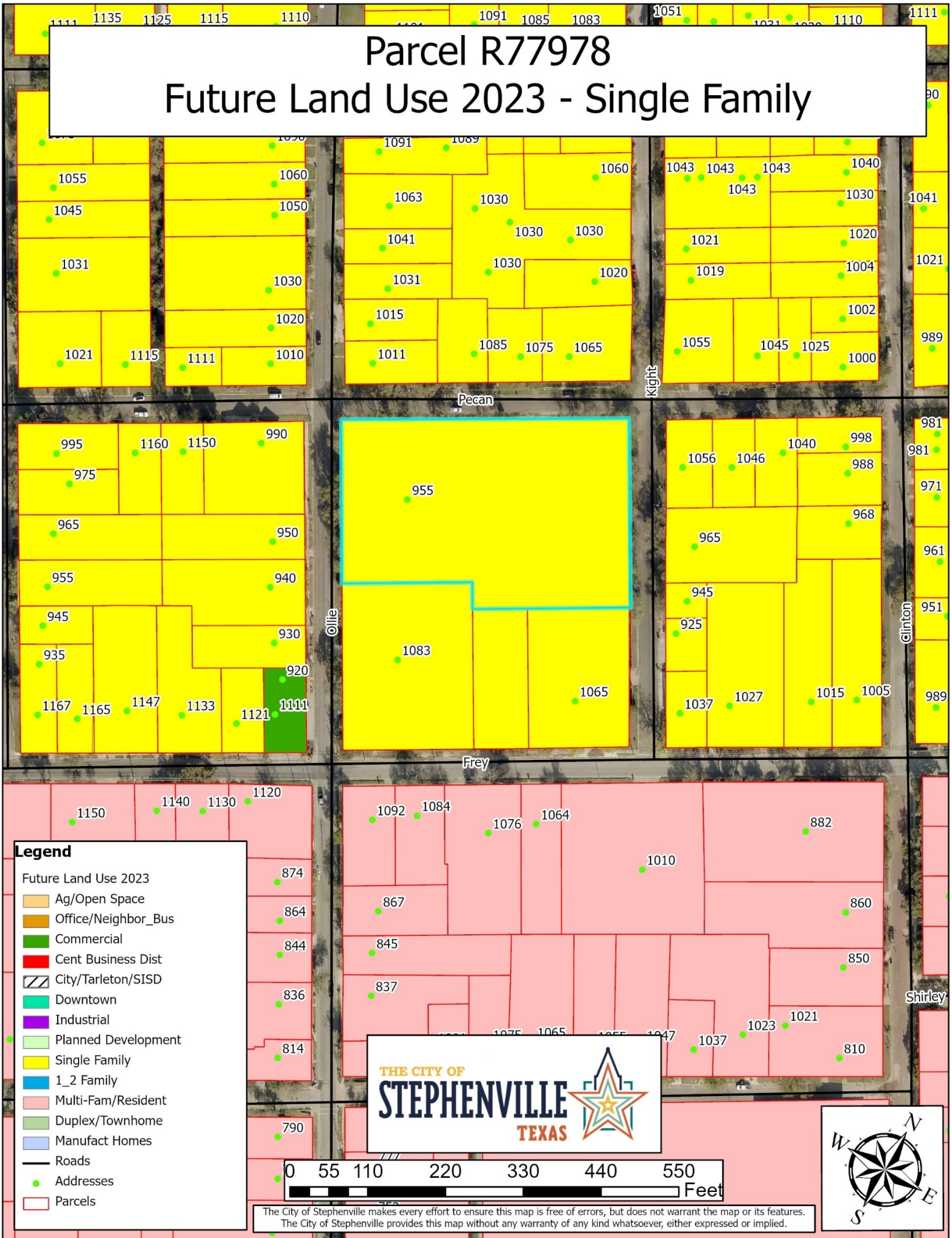
- Roads
- Addresses
- ▭ Parcels
- ZONING**
- ▭ Agricultural
- ▭ B-1 - Neighborhood Business
- ▭ B-2 - Retail and Commercial Business
- ▭ B-3 - Central Business
- ▭ B-4 - Private Club
- ▭ CTS - City, Tarleton, School
- ▭ DT - Downtown
- ▭ IND - Industrial
- ▭ PD - Planned Development
- ▭ R-1 - Single Family - 7,500
- ▭ R-1.5 - Single Family - 6,000
- ▭ R-2 - One and Two Family
- ▭ R-2.5 - Integrated Housing
- ▭ R-3 - Multiple Family
- ▭ RE - Single Family - 1 Acre



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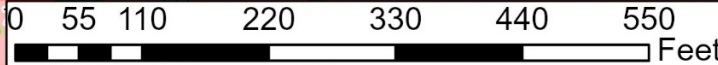
# Parcel R77978

## Future Land Use 2023 - Single Family



**Legend**

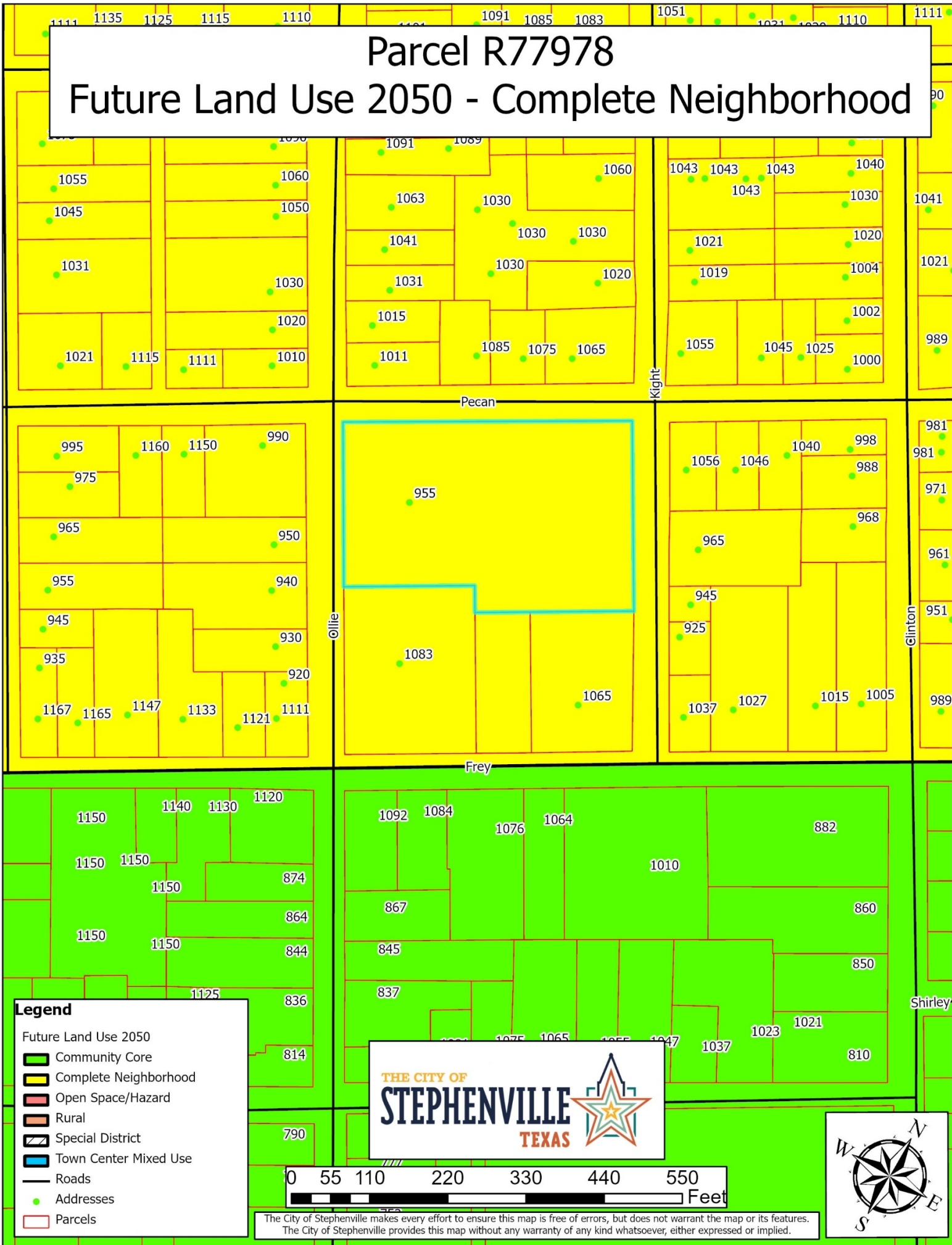
- Future Land Use 2023
- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes
- Roads
- Addresses
- Parcels



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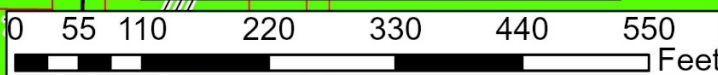
# Parcel R77978

## Future Land Use 2050 - Complete Neighborhood



**Legend**

- Future Land Use 2050
- Community Core
- Complete Neighborhood
- Open Space/Hazard
- Rural
- Special District
- Town Center Mixed Use
- Roads
- Addresses
- Parcels



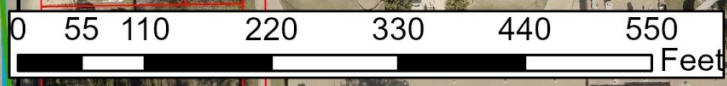
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# Parcel R77978 Water & Sewer Utilities



**Legend**

- Sewer Lines
- Water Lines
- Roads
- Addresses
- Parcels



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# Parcel R77978

## 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000032229	1055 W PECAN	BABKOWSKI MICHAEL JAMES	1055 W PECAN	STEPHENVILLE	TX	76401
R000032263	940 OLLIE	BEGGS LARRY DON & DIXIE EARLENE REVOCABLE TRUST	509 HILLTOP	TROY	TX	76579
R000032262	930 OLLIE	BEUKE EMMA	930 N OLLIE	STEPHENVILLE	TX	76401
R000032212	965 KIGHT	BRYANT JOHN CLANCY	965 KIGHT	STEPHENVILLE	TX	76401
R000032228	1019 KIGHT	CHAVEZ MARIA E	1019 N KIGHT	STEPHENVILLE	TX	76401
R000032269	1121 FREY	FRAGA MIGUEL A	1121 W FREY ST	STEPHENVILLE	TX	76401
R000032213	945 KIGHT	GODWIN EDWARD	1804 DEEPWOOD DR	ROUND ROCK	TX	78681
R000032271	950 OLLIE	HARRIS DALE & DEBBY	102 WILLOW LANE	STEPHENVILLE	TX	76401
R000032273	1150 PECAN	HAYES BRAD	1150 FM2303	STEPHENVILLE	TX	76401-7641
R000032215	1037 FREY	JRSR PROPERTIES LLC	5303 COLLEYVILLE BLVD, SUITE A	COLLEYVILLE	TX	76034
R000032272	990 N OLLIE	K & S RESIDENTIAL, LLC	10925 HWY60	CANADIAN	TX	79014
R000032210	1046 PECAN	LOWERY CLARENCE DAVID	1046 W PECAN ST	STEPHENVILLE	TX	76401
R000032252	1065 PECAN	LOWRY MITCHELL GAGE & MAVERICK GUNNER LOWRY	1065 W PECAN	STEPHENVILLE	TX	76401
R000032248	1020 KIGHT	MARTIN AARON BYRON	15117 RODERICK RD	ALEDO	TX	76008
R000032261	1065 W FREY	MCGEE MANDY KAE	1065 W FREY	STEPHENVILLE	TX	76401
R000032913	1111 PECAN	PLAID PROPERTIES LLC	1600 ABRAMS RD #31	DALLAS	TX	75214
R000032250	1075 PECAN	REINKE STEPHEN	2001 N WOOD DUCK CT	GRANBURY	TX	76049
R000032253	1011 OLLIE	RICHARDSON RANDAL & KARA M RICHARDSON	1409 SUNSA LANE	CARROLLTON	TX	75007
R000032254	1015 OLLIE	SHOCKLEY JONATHAN J & HAROLD J	1015 N OLLIE	STEPHENVILLE	TX	76401
R000032914	1020 OLLIE	SILHAVY MARK S & LISA	505 CLEW CT	AZLE	TX	76020
R000032249	1030 KIGHT	SINCLAIR SMV LLC	3725 HAMILTON AVE	FORT WORTH	TX	76107
R000032270	1111 W FREY	SLAYDEN MARK & ANN	1111 W FREY ST	STEPHENVILLE	TX	76401
R000032915	1030 OLLIE	SOUTHERN CHARM MANAGEMENT LLC	2211 SUMMIT DR	BURLESON	TX	76028
R000073953	1031 OLLIE	SOUTHERN CHARM MANAGEMENT LLC	2211 SUMMIT DR	BURLESON	TX	76028
R000032230	1045 PECAN	TEAM J PROPERTIES, LP	3913 CR801	CLEBURNE	TX	76031
R000032255	1085 PECAN	TK 2025 TRUST	153 VALLEY OAK PLACE	WOODBIDGE	CA	95258
R000032912	1010 OLLIE	TOUCHSTONE RANCH LAND LLC	PO BOX 2476	STEPHENVILLE	TX	76401
R000032208	1027 W FREY	TUCKER LOIS LAVONNE	1027 W FREY	STEPHENVILLE	TX	76401
R000032260	1083 FREY	WADE INVESTMENT PROPERTIES, INC.	PO BOX 863	STEPHENVILLE	TX	76401
R000078426	0 FREY	WADE INVESTMENT PROPERTIES, INC.	PO BOX 863	STEPHENVILLE	TX	76401
R000032209	1040 PECAN	WAGERS PAMELA	1040 W PECAN ST	STEPHENVILLE	TX	76401
R000032214	925 KIGHT	WILHELM DONNA	PO BOX 201	BROWNWOOD	TX	76804
R000077978	955 N OLLIE	WW INVESTMENTS, LLC	PO BOX 863	STEPHENVILLE	TX	76401

# STAFF REPORT

**SUBJECT:** Case No.: RZ 2025-9163

Applicant Wyatt Thorp is requesting a rezone of property located at 587 Race, Parcel R32547, being BLK 2; LOTS 5 & 6A of the S5100 MILLICAN & OTT ADDITION of the City of Stephenville, Erath County, Texas from “R-1”, Single Family Residential, to “R-2.5,” Integrated Housing.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

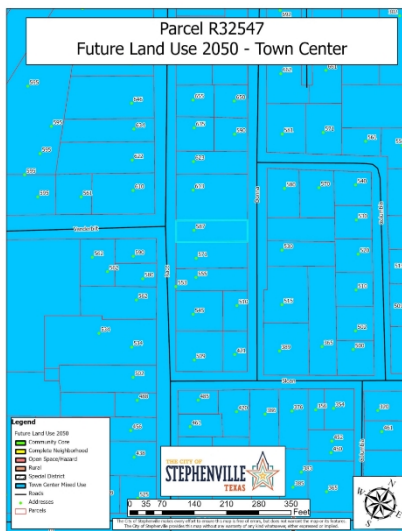
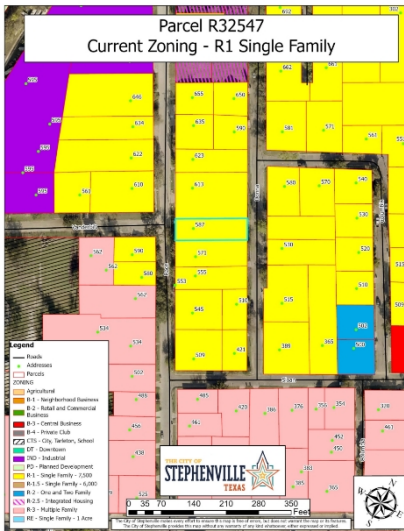
**RECOMMENDATION:**

To provide a recommendation on the zoning request to the City Council.

**BACKGROUND:**

Mr. Thorp is requesting a rezone with the intention of replatting into separate lots if the rezone is approved. Staff have requested a survey to confirm the parcel has adequate frontage on Race and Donna Streets to meet the minimum lot dimensions required for this zoning district. The Future Land Use is designated as Town Center which allows residential use.

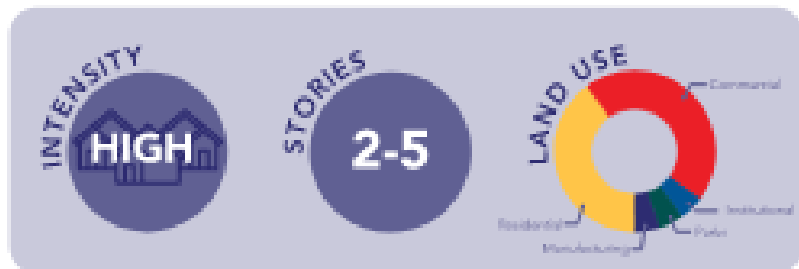
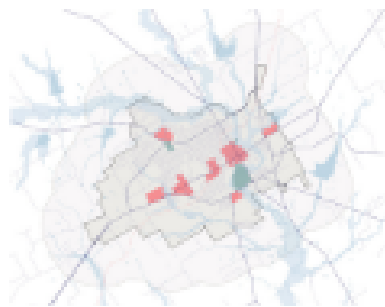
**ROPERTY PROFILE:**



## FUTURE LAND USE

### Town Center Mixed-Use

The Town Center Mixed-Use land use encourages a mix of uses including residential, purpose-built student housing, offices, retail, and recreational at higher densities. These areas are hubs for commerce, entertainment, education, and culture, with numerous offices, shops, restaurants, theaters, and art galleries.



### Sec. 154.05.8 Integrated housing district (R-2.5).

**5.8.A Description.** This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

### 5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

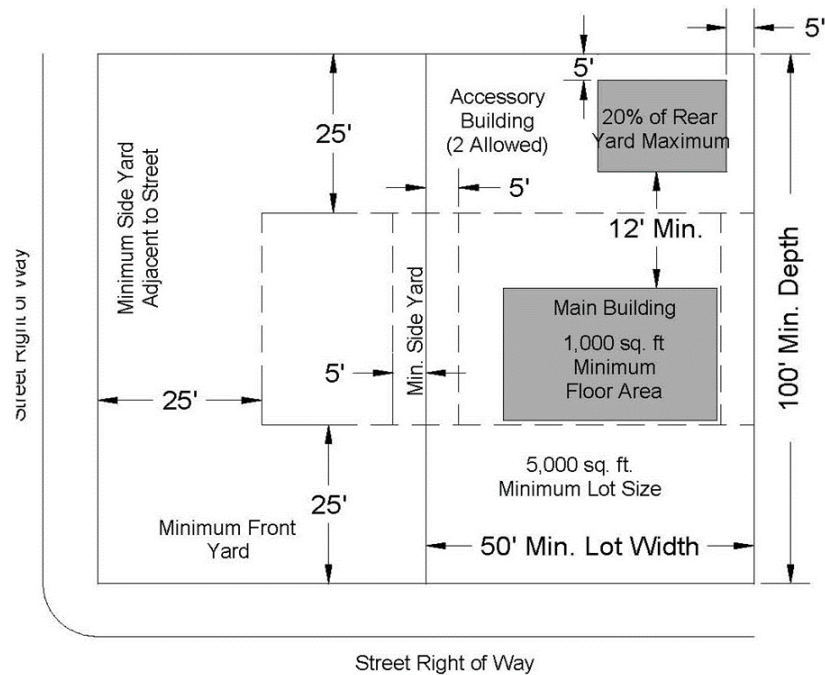
**5.8.C Conditional Uses.**

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

**5.8.D Height, Area, Yard and Lot Coverage Requirements.**

**A. Single family dwelling.**

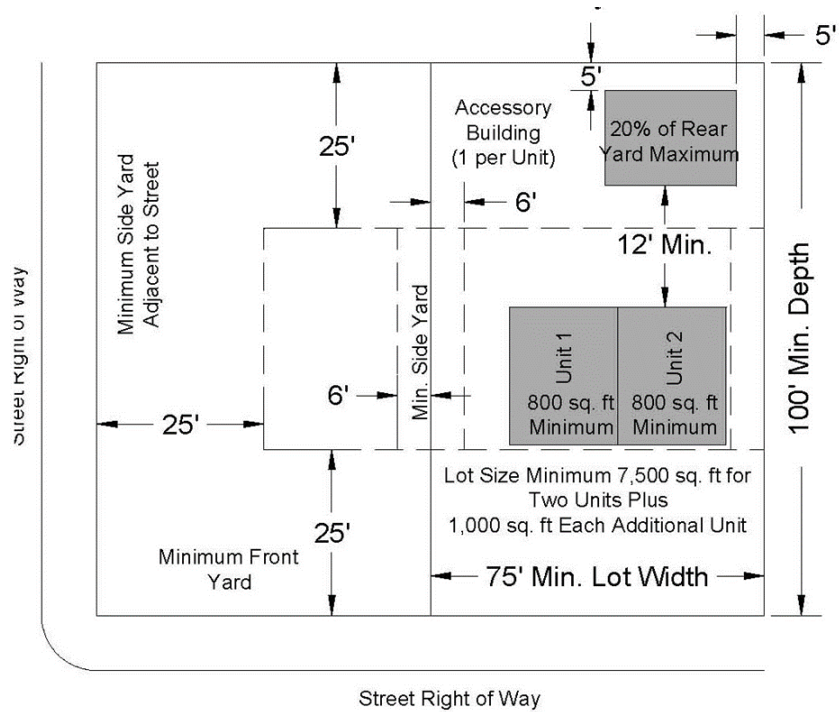
1. Minimum lot area: 3,000 ft<sup>2</sup>.
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Single family dwelling: 1,000 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory buildings coverage of rear yard: 20%.
  - b. Maximum number of accessory buildings: one.
  - c. Minimum depth of side setback: five feet.
  - d. Minimum depth of rear setback: five feet.
  - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: six feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.
  - d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.

10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



C. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft<sup>2</sup> per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum building coverage as a percentage of lot area: 40%
  - b. Minimum area of each Townhouse dwelling unit: 800 ft<sup>2</sup>.
  - c. Minimum area of each Condominium of each dwelling unit: 500 ft<sup>2</sup> for one bedroom or less, plus 125 ft<sup>2</sup> of floor area for each additional bedroom.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.

- d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
  10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
  11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
  12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

**5.8.E Parking Regulations.** Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles of*

this ordinance. ( Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

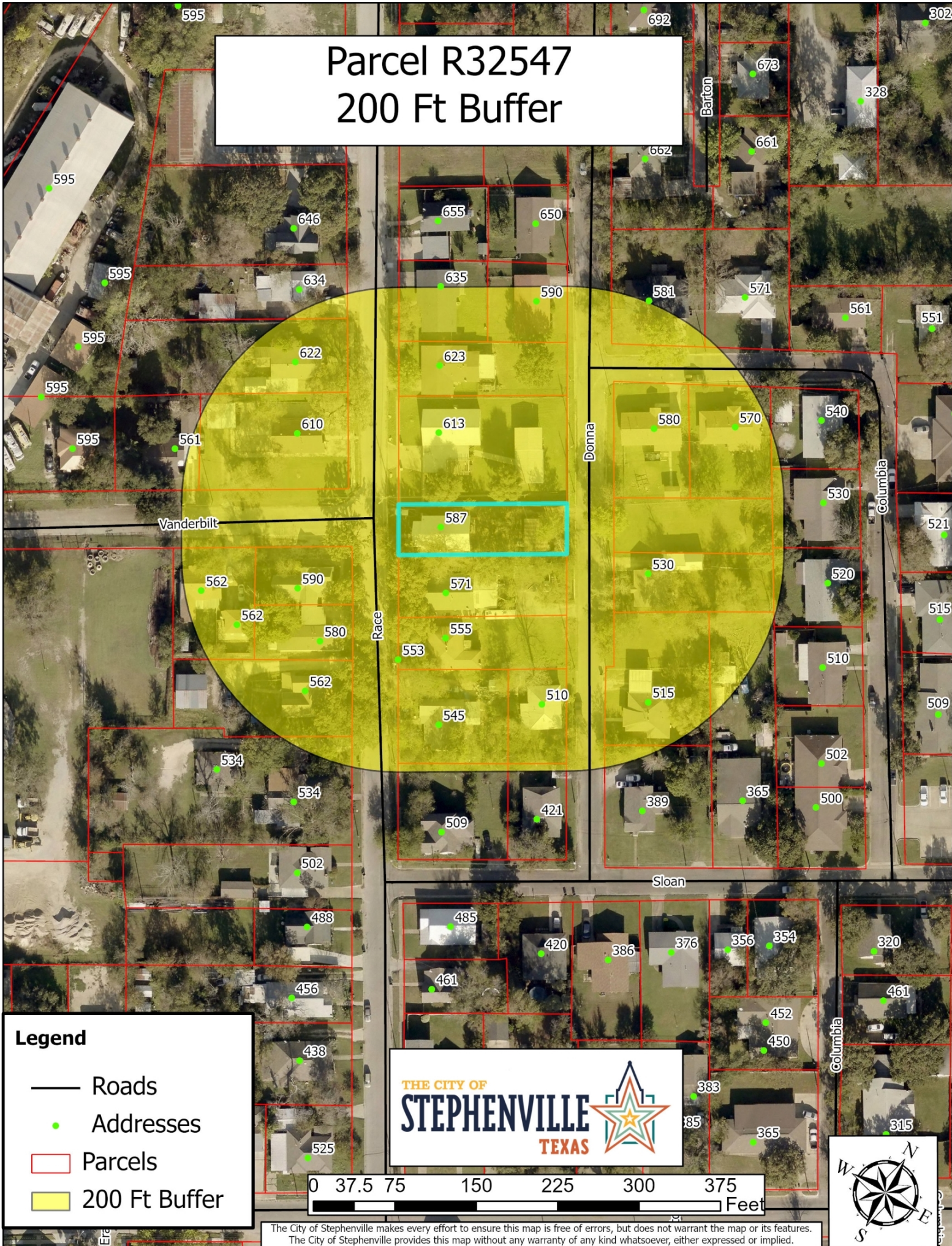
**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

**ALTERNATIVES:**

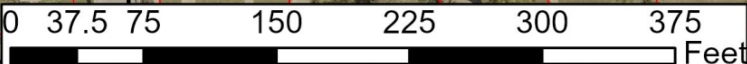
- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

# Parcel R32547 200 Ft Buffer



**Legend**

- Roads
- Addresses
- ▭ Parcels
- 200 Ft Buffer

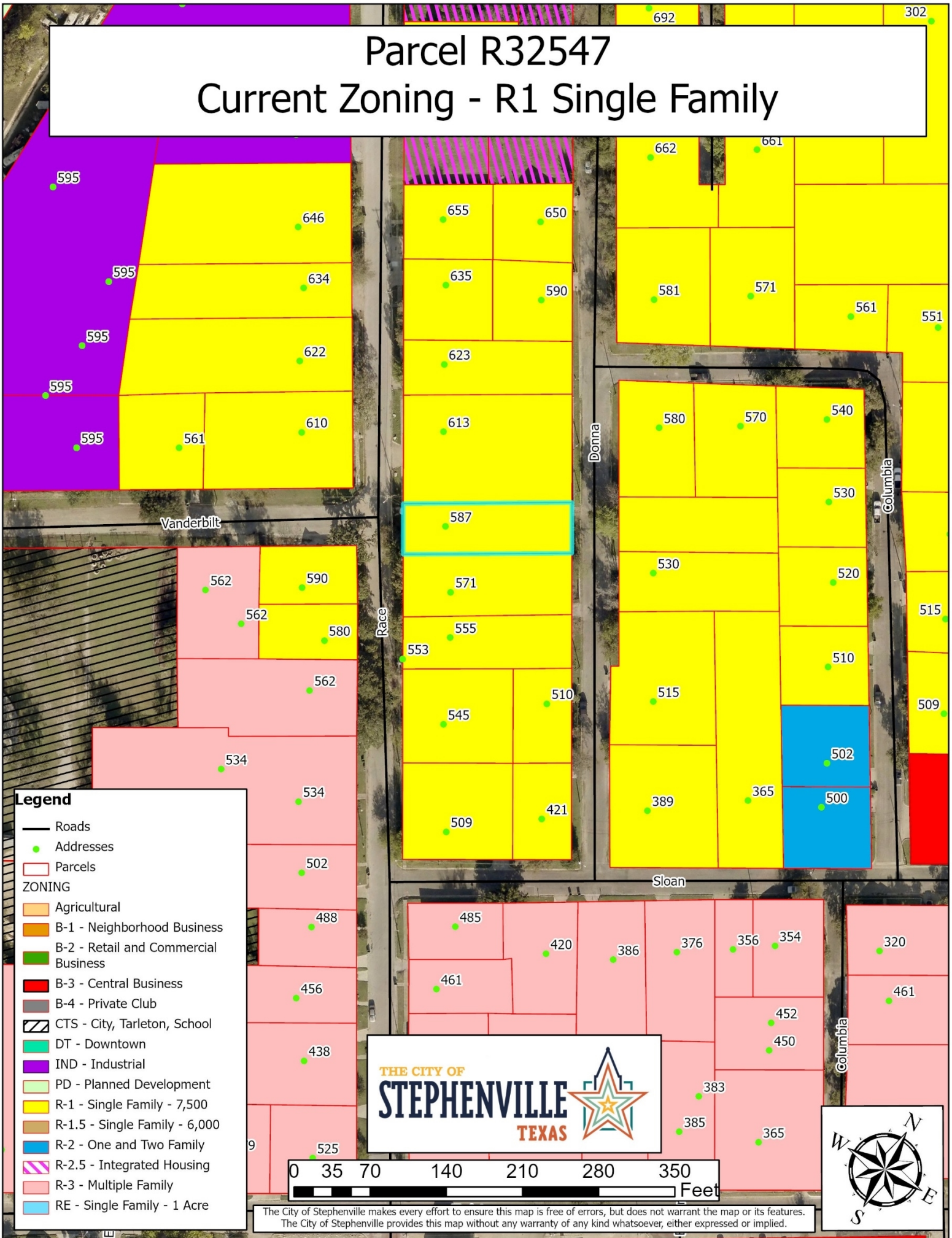


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# Parcel R32547

## Current Zoning - R1 Single Family

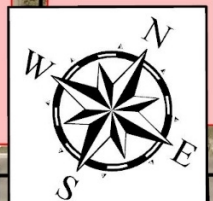
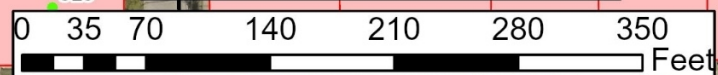


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- Roads
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**ZONING**

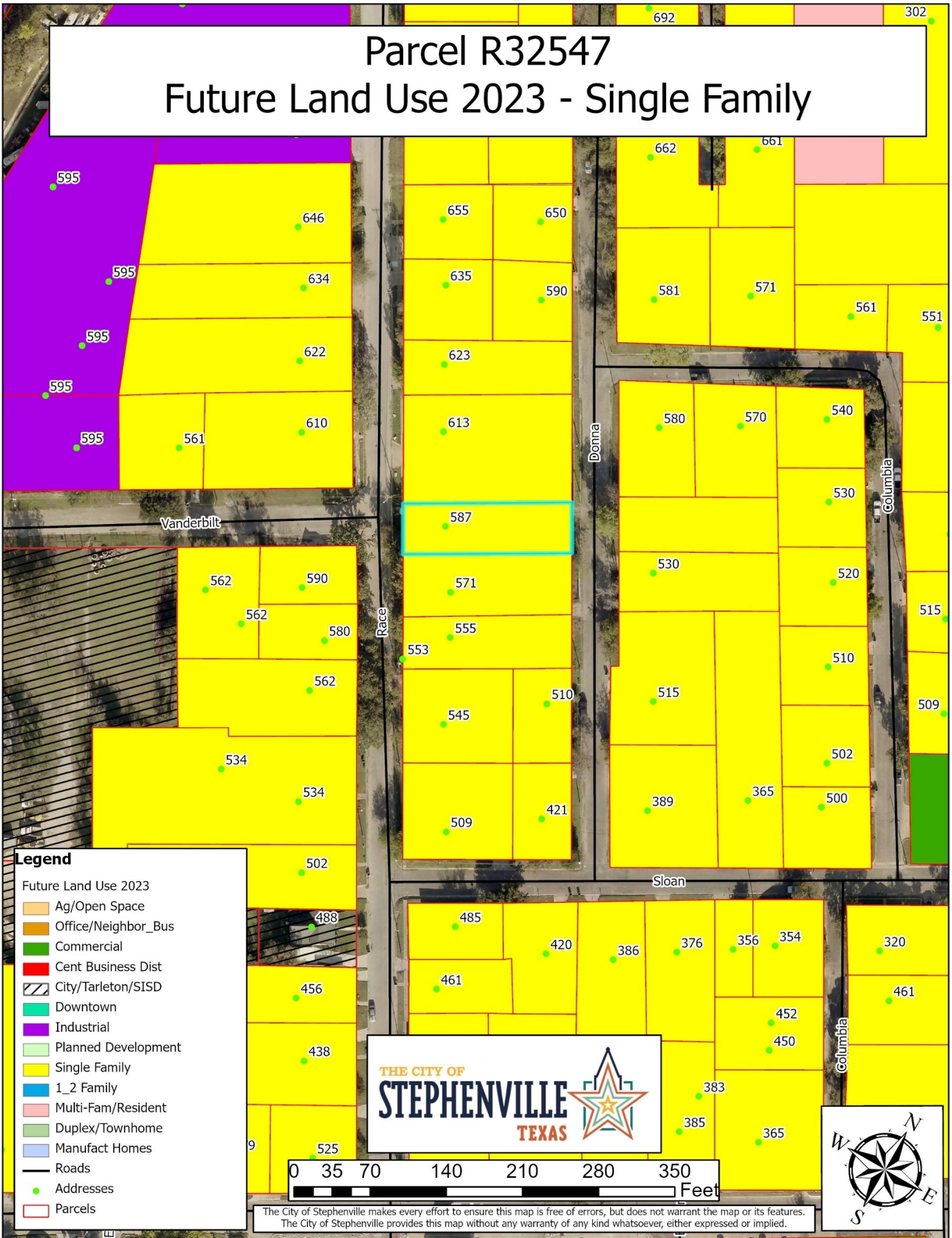
- ▭ Agricultural
- ▭ B-1 - Neighborhood Business
- ▭ B-2 - Retail and Commercial Business
- ▭ B-3 - Central Business
- ▭ B-4 - Private Club
- ▭ CTS - City, Tarleton, School
- ▭ DT - Downtown
- ▭ IND - Industrial
- ▭ PD - Planned Development
- ▭ R-1 - Single Family - 7,500
- ▭ R-1.5 - Single Family - 6,000
- ▭ R-2 - One and Two Family
- ▭ R-2.5 - Integrated Housing
- ▭ R-3 - Multiple Family
- ▭ RE - Single Family - 1 Acre



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# Parcel R32547

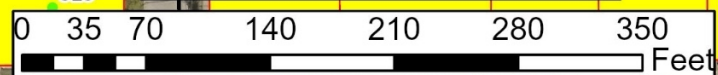
## Future Land Use 2023 - Single Family



**Legend**

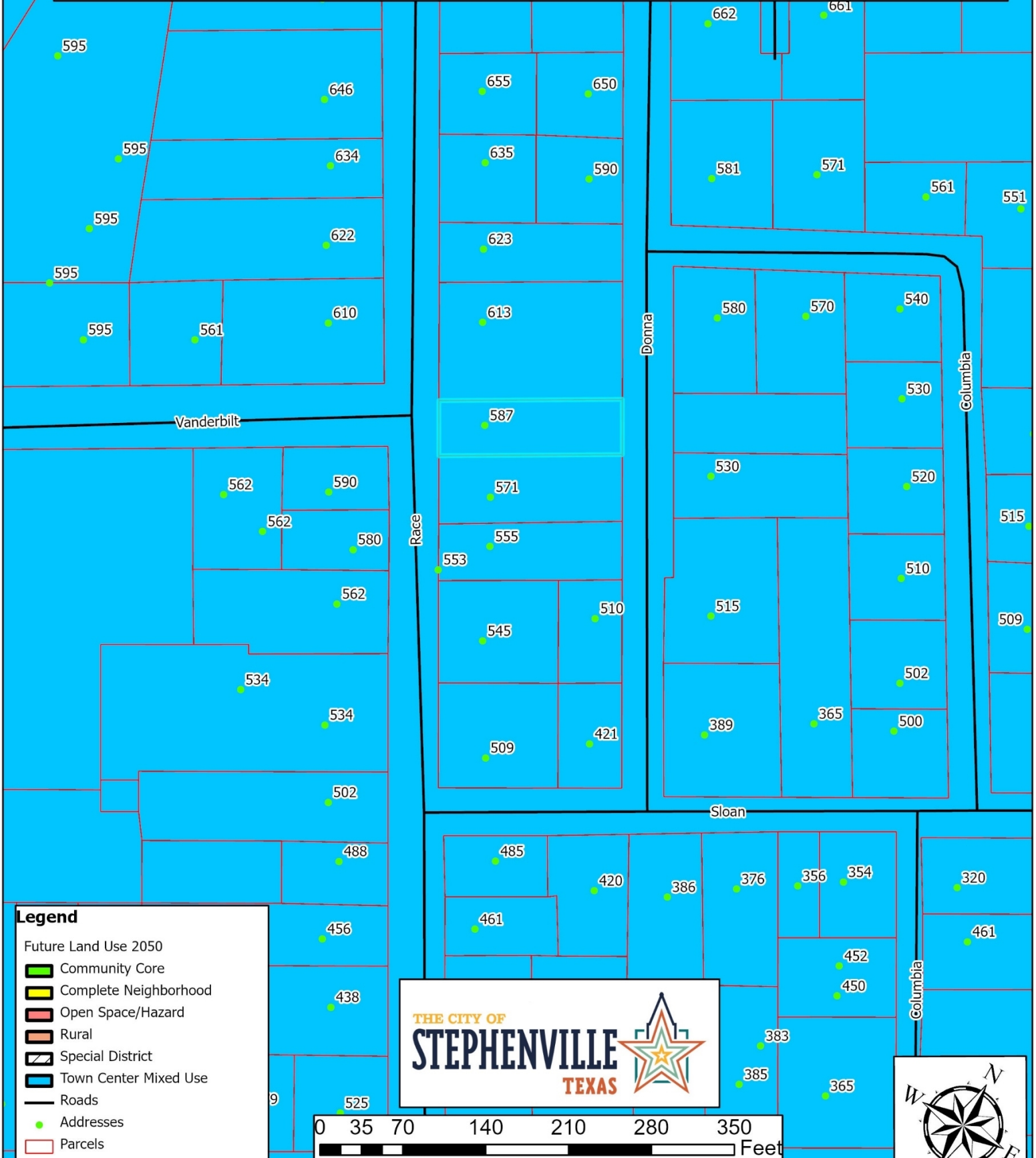
Future Land Use 2023

- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes
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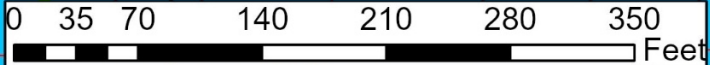
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# Parcel R32547 Future Land Use 2050 - Town Center



**Legend**

- Future Land Use 2050
  - Community Core
  - Complete Neighborhood
  - Open Space/Hazard
  - Rural
  - Special District
  - Town Center Mixed Use
- Roads
- Addresses
- Parcels



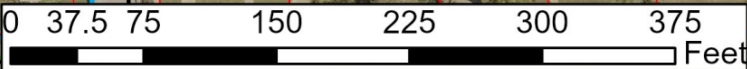
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# Parcel R32547 Water & Sewer Utilities



**Legend**

- Sewer Lines
- Water Lines
- Roads
- Addresses
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# Parcel R32547

## 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000032556	580 COLUMBIA	ALLEN ROBERT NOLAN & LAUREN LANDIN ALLEN	PO BOX 11	DEER PARK	TX	77536
R000032548	571 RACE	BAUGUS BRUCE W & REBECCA D	571 N RACE ST	STEPHENVILLE	TX	76401-0000
R000032544	623 RACE	BEDWELL MONTY C	3377 FM914	STEPHENVILLE	TX	76401
R000032554	571 COLUMBIA	BICKLEY PROPERTIES-ERATH LLC	701 BROWNLEE CIRCLE	AUSTIN	TX	78703
R000030059	389 W SLOAN	BTM PRODUCTION, LLC	4525 CATTLEGUARD CT	TOLAR	TX	76476
R000032709	561 VANDERBILT	CHACON ROSA MARIA	20670 CR163	STEPHENVILLE	TX	76401-8033
R000029678	520 N COLUMBIA	CROUCH JULIE	PO BOX 1788	STEPHENVILLE	TX	76401-0032
R000033243	622 N RACE	FELAN JULIAN ISAIAH	1522 CORMORANT DR	GARLAND	TX	75043
R000029681	534 RACE	FERGASON SIERRA	534 N RACE	STEPHENVILLE	TX	76401
R000032711	610 RACE	FERGUSON THE D.K LIVING TRUST	311 E 11TH AVE	WINFIELD	KS	67156
R000030061	510 DONNA	FREEDOM RANCH PROPERTIES, LLC	19629 CR107	MINGUS	TX	76463
R000032557	530 DONNA	GARZA EFREN JR	530 N DONNA	STEPHENVILLE	TX	76401
R000032559	530 DONNA	GARZA EFREN JR	530 N DONNA	STEPHENVILLE	TX	76401
R000030058	545 RACE	GTG ACQUISITIONS, LLC	7271 CR276	TERRELL	TX	75160
R000032719	590 RACE	HAYES WAYNE LEROY	PO BOX 1152	STEPHENVILLE	TX	76401
R000032720	580 RACE	HAYES WAYNE LEROY	PO BOX 1152	STEPHENVILLE	TX	76401
R000030062	421 W SLOAN	HOOVER BOBBY	2059 CR512	STEPHENVILLE	TX	76401
R000032555	570 COLUMBIA	HUMPHREY MICHAEL A & STACEY A	9312 FM603	CLYDE	TX	79510
R000033242	634 RACE	JUAREZ LUIS	822 W VANDERBILT	STEPHENVILLE	TX	76401
R000032553	581 COLUMBIA	KALSBECK CORIANN	PO BOX 449	DUBLIN	TX	76446
R000032560	365 W SLOAN	MCGUIRE PATRICK K	365 W SLOAN ST	STEPHENVILLE	TX	76401
R000030057	509 RACE	MORING RONALD V & CAROL C	509 N RACE	STEPHENVILLE	TX	76401-0000
R000029676	540 COLUMBIA	ODELL-THACKERSON RACHEL TIFFANY	540 N COLUMBIA	STEPHENVILLE	TX	76401
R000032721	562 N RACE	SCHOROVSKY KRISTINE & KYLE SCHOROVSKY	25180 KANSAS AVE	LOS MOLINOS	CA	96055
R000032542	635 N RACE	SCOTT GERALD W (LIFE ESTATE)	635 N RACE ST	STEPHENVILLE	TX	76401
R000029677	530 COLUMBIA	SMITH CORY D & KIM K	PO BOX 1891	STEPHENVILLE	TX	76401
R000030060	515 DONNA	SOMERVELL CAPITAL, LLC	1784 CR402	NEMO	TX	76070
R000032549	555 RACE	STASEY CHRISTOPHER	4137 CR196	BLUFF DALE	TX	76433
R000032543	590 DONNA	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000032718	562 VANDERBILT	THE IVAN AND KASSIDY TRUST	413 PEACEFUL DR	GARLAND	TX	75043
R000032547	587 RACE	THORP WYATT	587 N RACE	STEPHENVILLE	TX	76401
R000032545	613 RACE	VAUGHN EDMUND LEE	613 N RACE ST	STEPHENVILLE	TX	76401

# STAFF REPORT

**SUBJECT:** Case No.: RZ 2025-9189

Applicant Jayton Cogburn, representing Richard J and Rebecca R Lieb, is requesting a rezone of property located at 615 College Farm Rd, Parcel R29924, being BLK 87; LOT 2B of the S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from “B-1”, Neighborhood Business, to “R-2.5,” Integrated Housing.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

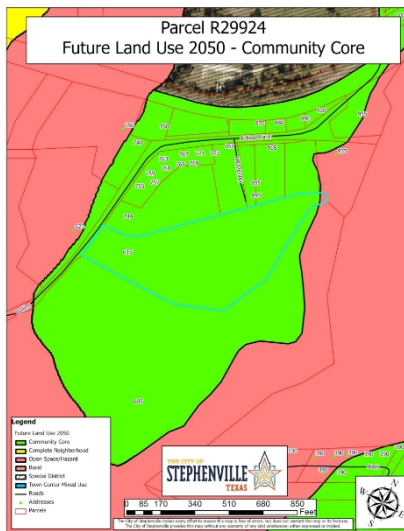
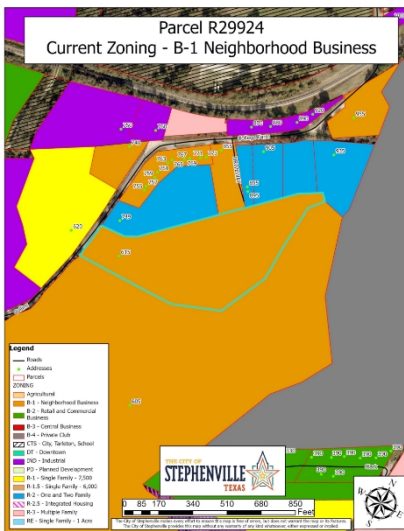
**RECOMMENDATION:**

To provide a recommendation on the rezone request to the City Council.

**BACKGROUND:**

Mr. Cogburn is requesting a rezone with the intention of building a single-family home development. A pre-development meeting was held with Mr. Cogburn, and no major obstacles were observed. As developed, additional Right-of-Way dedication will be required along College Farm Rd. and the construction of the proportional improvement will be the developer’s responsibility. The Future Land use is designated as Community Core which allows residential uses.

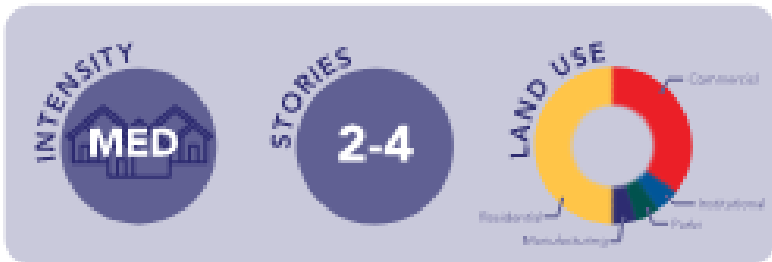
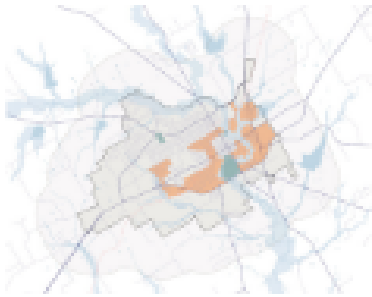
**ROPERTY PROFILE:**



## FUTURE LAND USE

### Community Core

The Community Core land use accommodates a mix of uses at a medium density. Diverse housing types are encouraged to support a range of residents. Local businesses, such as grocery stores, cafes, and local offices cater to the needs of the nearby residents and parks and green spaces provide recreational opportunities.



### Sec. 154.05.8 Integrated housing district (R-2.5).

**5.8.A Description.** This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

### 5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

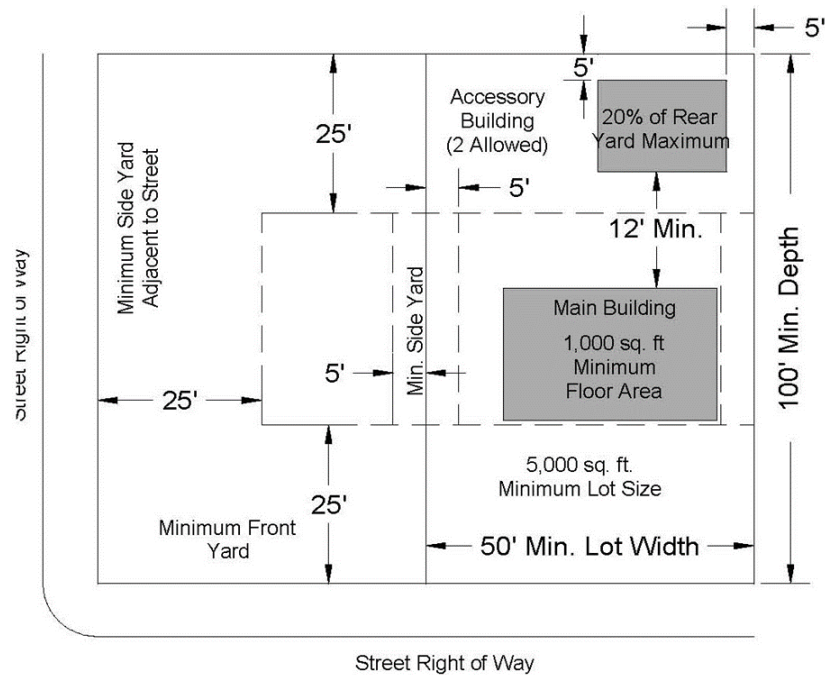
**5.8.C Conditional Uses.**

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

**5.8.D Height, Area, Yard and Lot Coverage Requirements.**

**A. Single family dwelling.**

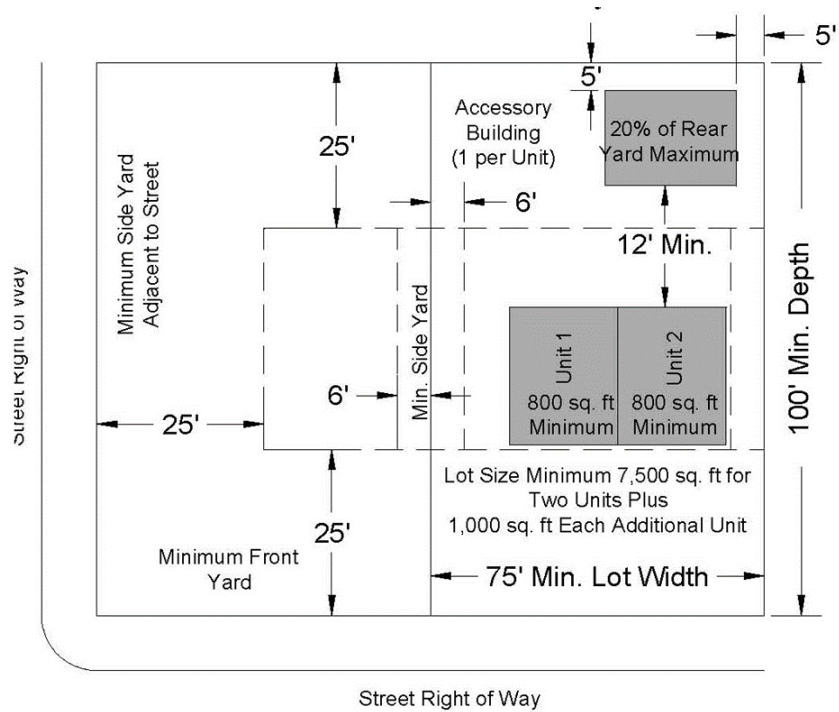
1. Minimum lot area: 3,000 ft<sup>2</sup>.
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Single family dwelling: 1,000 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory buildings coverage of rear yard: 20%.
  - b. Maximum number of accessory buildings: one.
  - c. Minimum depth of side setback: five feet.
  - d. Minimum depth of rear setback: five feet.
  - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: six feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum coverage as a percentage of lot area: 40%.
  - b. Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.
  - d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.

10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



C. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft<sup>2</sup> per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
  - a. Internal lot: five feet.
  - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
  - a. Maximum building coverage as a percentage of lot area: 40%
  - b. Minimum area of each Townhouse dwelling unit: 800 ft<sup>2</sup>.
  - c. Minimum area of each Condominium of each dwelling unit: 500 ft<sup>2</sup> for one bedroom or less, plus 125 ft<sup>2</sup> of floor area for each additional bedroom.
8. Accessory buildings:
  - a. Maximum accessory building coverage of rear yard: 20%.
  - b. Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - c. Maximum number of accessory buildings: one per unit.

- d. Minimum depth of side setback: five feet.
  - e. Minimum depth of rear setback: five feet.
  - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
  10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
  11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
  12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

**5.8.E Parking Regulations.** Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles of*

this ordinance. ( Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

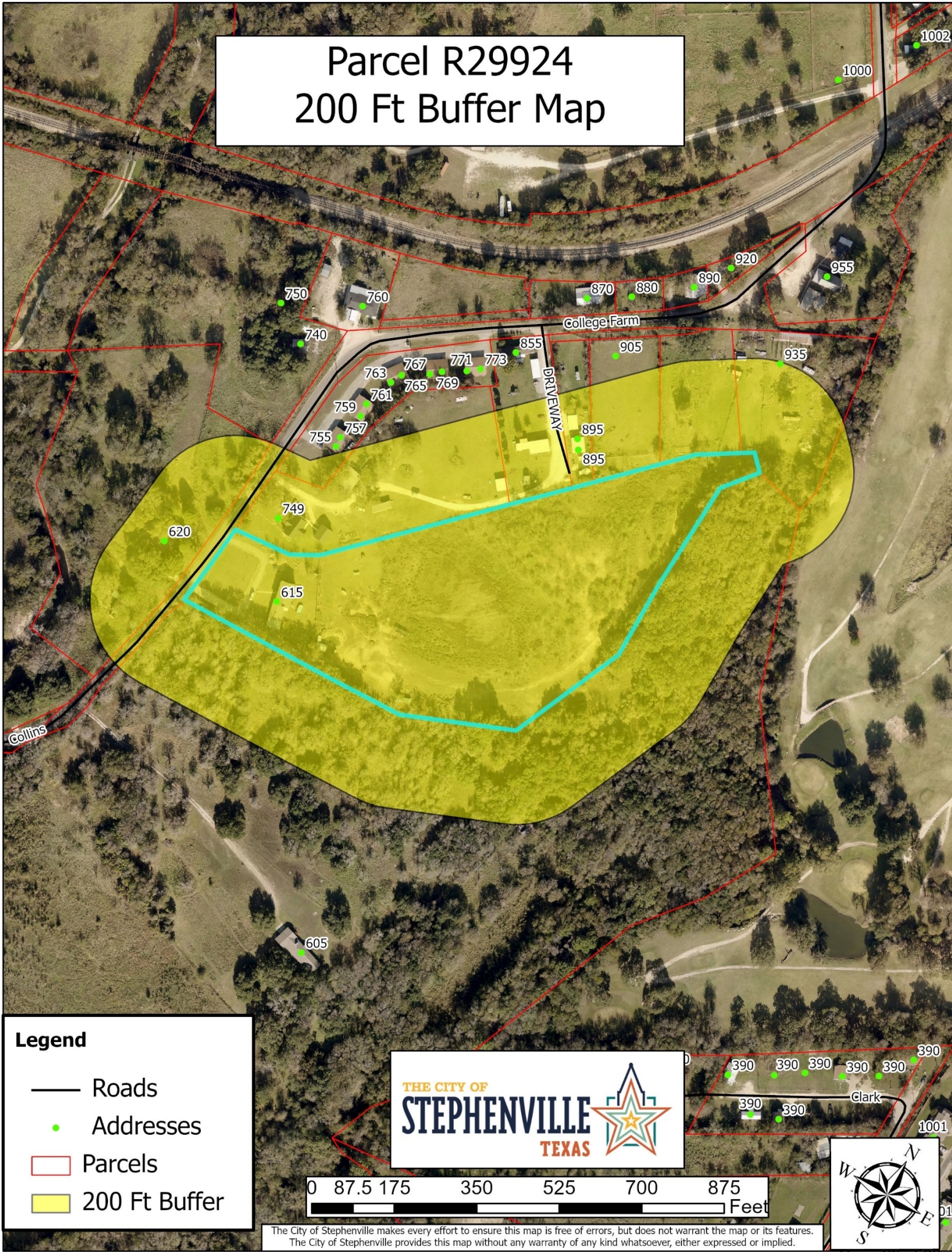
**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

**ALTERNATIVES:**

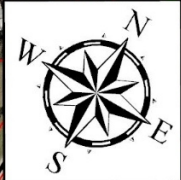
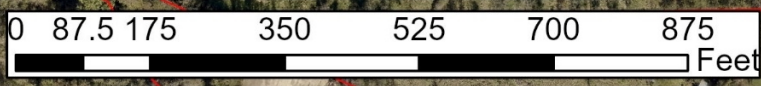
- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

# Parcel R29924 200 Ft Buffer Map



**Legend**

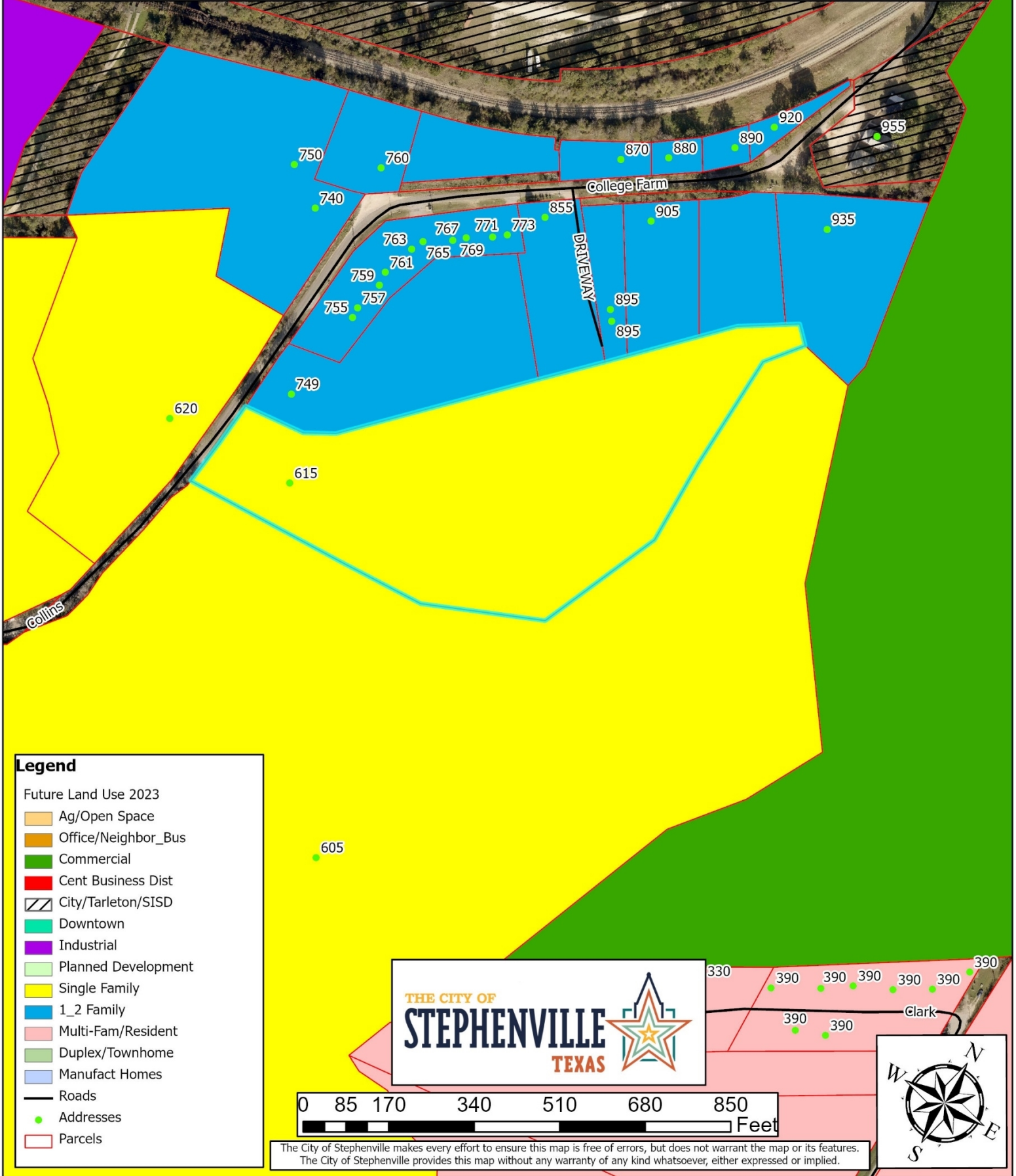
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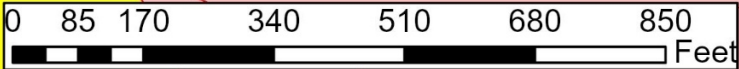


# Parcel R29924 Future Land Use 2023 - Single Family



**Legend**

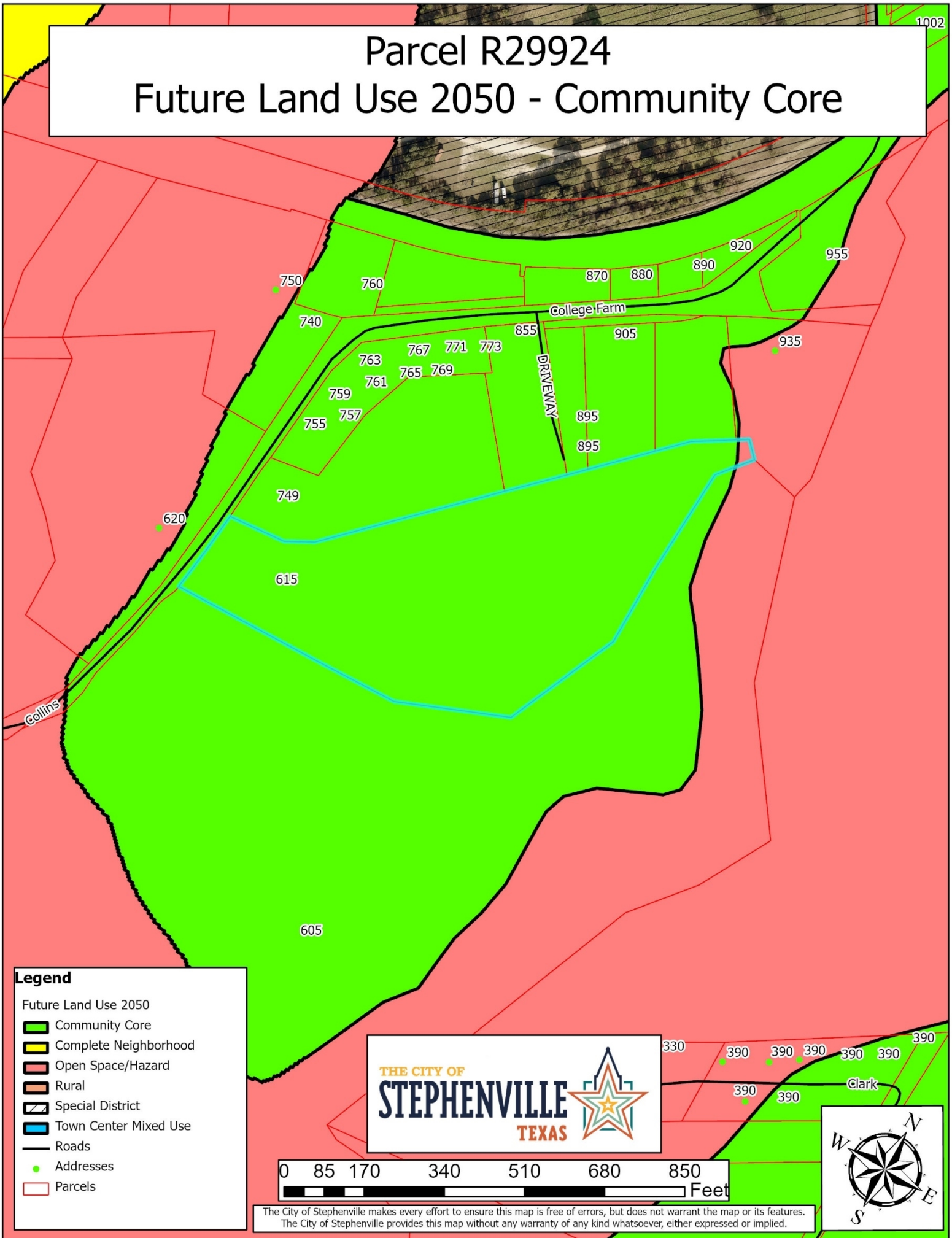
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# Parcel R29924

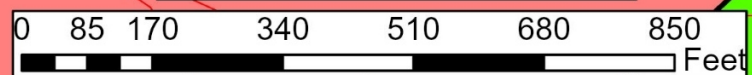
## Future Land Use 2050 - Community Core



**Legend**

Future Land Use 2050

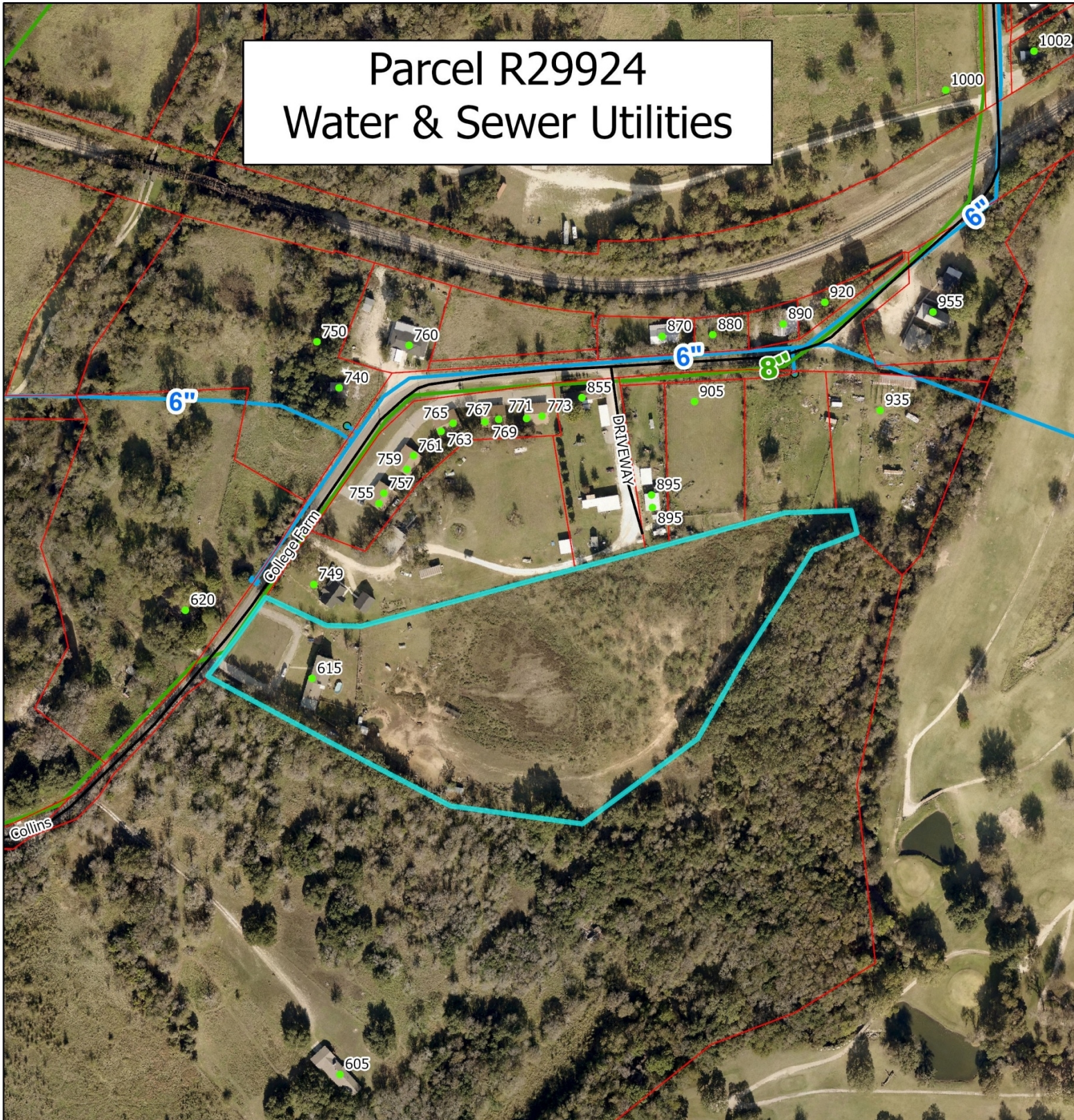
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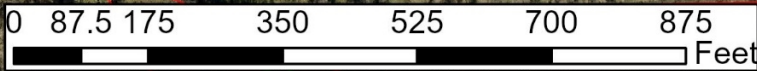


# Parcel R29924 Water & Sewer Utilities



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# Parcel R29924

## 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000072743	855 COLLEGE FARM RD	OXFORD WILLIAM H	159 S GRAHAM	STEPHENVILLE	TX	76401
R000077848	0 COLLEGE FARM RD	GOSNELL ROSA MARINA	437 S BELKNAP	STEPHENVILLE	TX	76401
R000029950	750 COLLEGE FARM RD	REED DEBORAH	463754 OK 101	SALLISAW	OK	74955
R000029924	615 COLLEGE FARM RD	LIEB RICHARD J & REBECCA R LIEB	615 COLLEGE FARM RD	STEPHENVILLE	TX	76401
R000029926	620 COLLEGE FARM RD	MITCHELL DEBRA J	620 COLLEGE FARM ROAD	STEPHENVILLE	TX	76401
R000078749	905 COLLEGE FARM RD	GALE GISELA	895 COLLEGE FARM RD	STEPHENVILLE	TX	76401
R000040797	895 COLLEGE FARM RD	GALE GISELA	895 COLLEGE FARM RD	STEPHENVILLE	TX	76401
R000077849	0 COLLEGE FARM RD	GALE RONALD	895 COLLEGE FARM RD APT 11	STEPHENVILLE	TX	76401
R000029923	749 COLLEGE FARM RD	OXFORD WILLIAM H	PO BOX 1298	STEPHENVILLE	TX	76401
R000029917	1089 TEJAS LN	THIEMANN STEVEN DALE	PO BOX 210	STEPHENVILLE	TX	76401-0000
R000029920	605 COLLEGE FARM RD	KOCH JUDITH FREY	PO BOX 386	STEPHENVILLE	TX	76401
R000029922	755 COLLEGE FARM RD	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401

# STAFF REPORT

**SUBJECT:** Case No.: PD 2025-9075 (UPDATE on PD2024-001)

Applicant John Allender, representing Southwestern Pigeon Road, LLC., is providing an update to the Planned Development (PD) for property located at 315 FM 2303, Parcel R22587, House and Barn; of the A0520 MENELEE JARRETT to the City of Stephenville, Erath County, Texas.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen

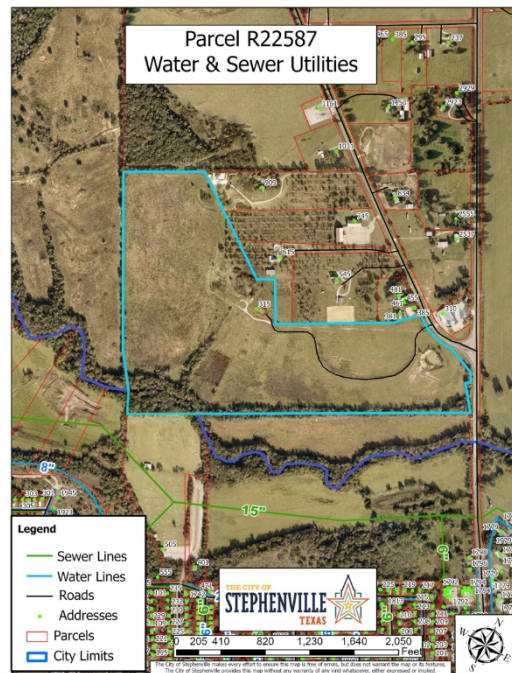
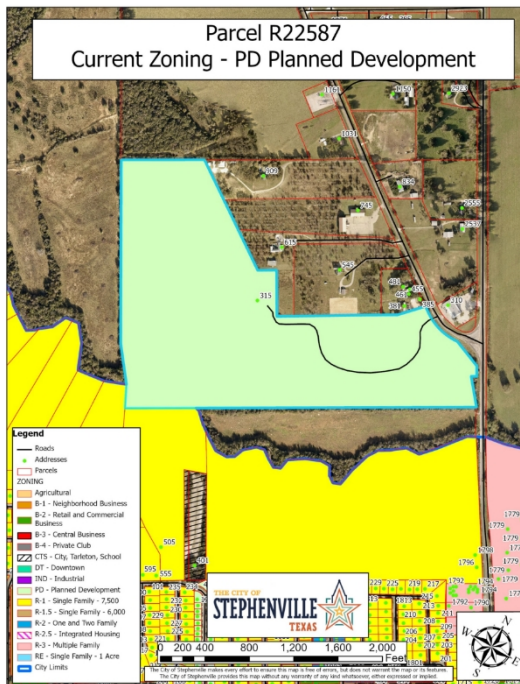
**RECOMMENDATION:**

To consider the modified Development Schedule and initiate proceedings if deemed necessary.

**BACKGROUND:**

The Planning and Zoning Commission convened on July 17, 2024, and voted 2/4 to recommend the City Council approve the Development Plan and rezone request. The case was therefore forwarded to the City Council with no recommendation. Subsequently, on August 6, 2024, the City Council approved Ordinance No. 2024-O-19 rezoning the property to Planned Development District.

Construction of improvements is underway.



## **DESCRIPTION OF REQUESTED ZONING**

### **Sec. 154.08. Planned development district (PD).**

#### **8.A Description.**

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than in possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

**8.B Permitted Uses.** In a PD Development District, no land shall be used and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

*NON-RESIDENTIAL PLANNED DEVELOPMENTS.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and
- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

*RESIDENTIAL PLANNED DEVELOPMENT.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and
- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

#### **8.C Prohibited Uses.**

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.

- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

**8.D Ownership.** An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application.

**8.E Development Schedule.**

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns or successors in interest.
- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

**8.F Plat Requirements.** No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirements of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

**8.G Concept Plan.** The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

**8.H Development Plan Approval Required.** No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

**8.I Approval Procedures.**

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was a condition of the approval.

- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
  - (a) A change in the character of the development;
  - (b) An increase in the gross floor areas in structures;
  - (c) An increase in the intensity of use;
  - (d) A reduction in the originally approved separations between buildings;
  - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
  - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;
  - (g) A reduction in the originally approved setbacks from property lines;
  - (h) An increase in ground coverage by structures;
  - (i) A reduction in the ratio of off-street parking and loading space; and
  - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

**8.J Development Plan Requirements.** The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;
- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

#### **8.K Conditions for Development Plan Approval.**

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
  - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
  - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
  - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
  - (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
  - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
  - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

**8.L Additional Conditions.** Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

#### **8.M Revocation.**

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
  - (a) Approval was obtained or extended by fraud or deception; or
  - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
  - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
  - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
  - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
  - (d) "PD" provisions may vary setbacks with approval.

#### **FACTORS TO CONSIDER:**

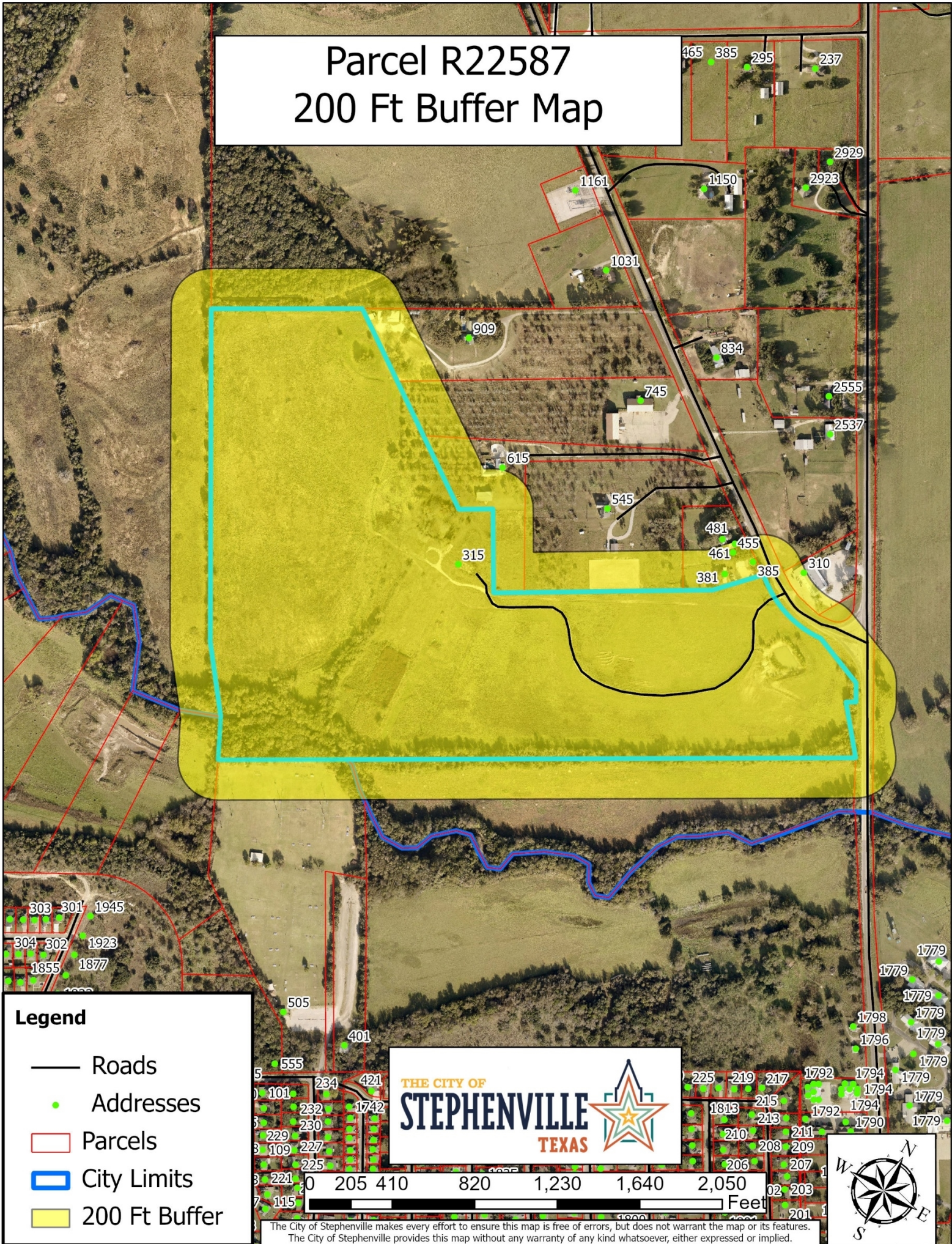
- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use

- Infrastructure Impacts
- Size and Location of Parcel - is land large enough and in proper location for proposed use?
- Reasonable Use of Property - does proposed change provide reasonable use of property?
- Zoning has great discretion - deny if applicant has not proven it is in the best interest of City to rezone

## ALTERNATIVES

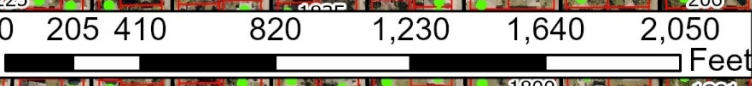
- 1) Accept the modified Development Schedule and take no further action.
- 2) Recommend the City Council deny the modified Development Schedule. Such action will require the removal of all or part of the Planned Development and cause placement in another zoning district.

# Parcel R22587 200 Ft Buffer Map



### Legend

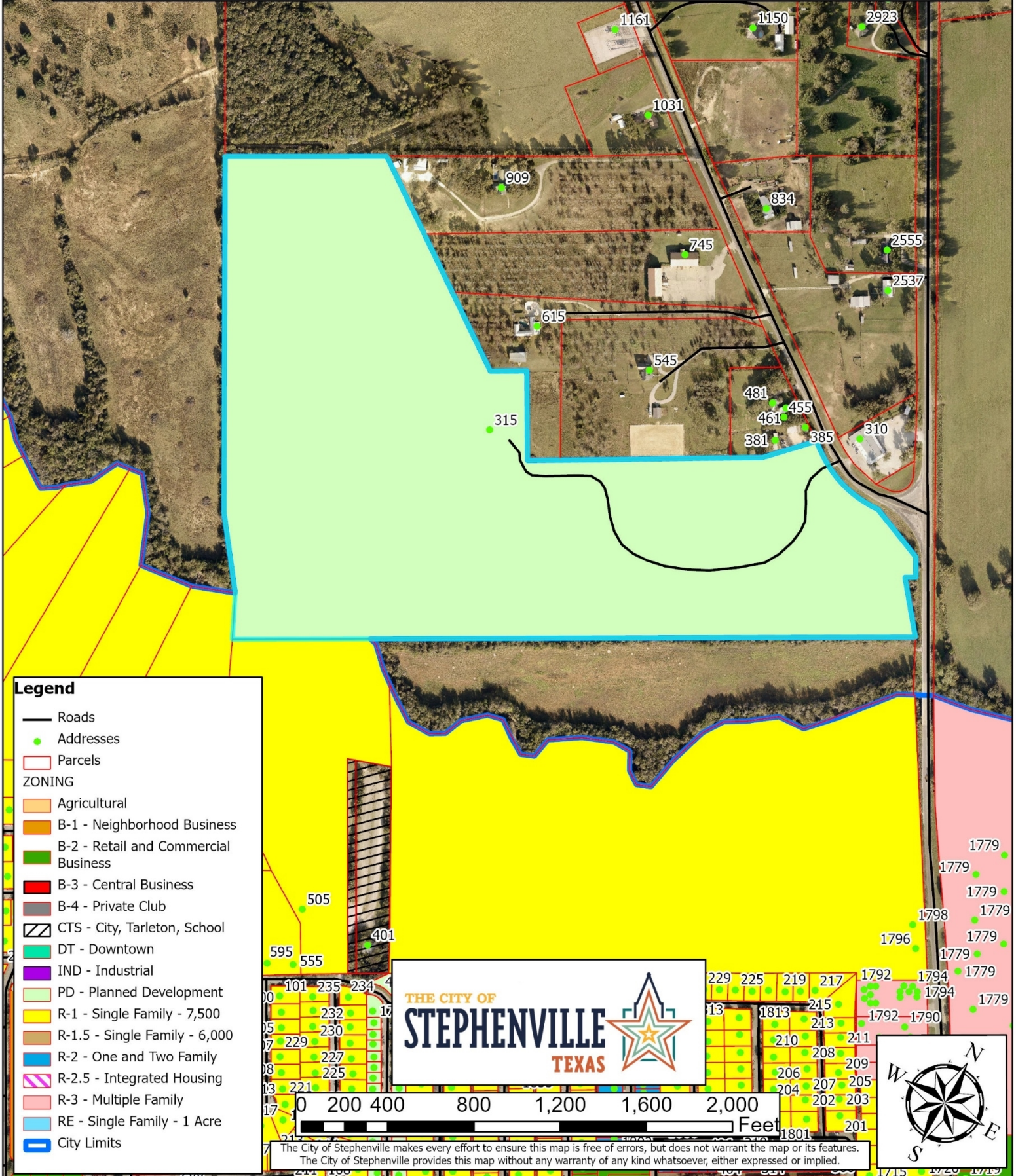
- Roads
- Addresses
- ▭ Parcels
- ▭ City Limits
- ▭ 200 Ft Buffer



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# Parcel R22587

## Current Zoning - PD Planned Development

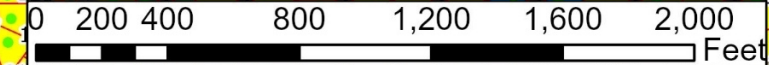


**Legend**

- Roads
- Addresses
- ▭ Parcels

**ZONING**

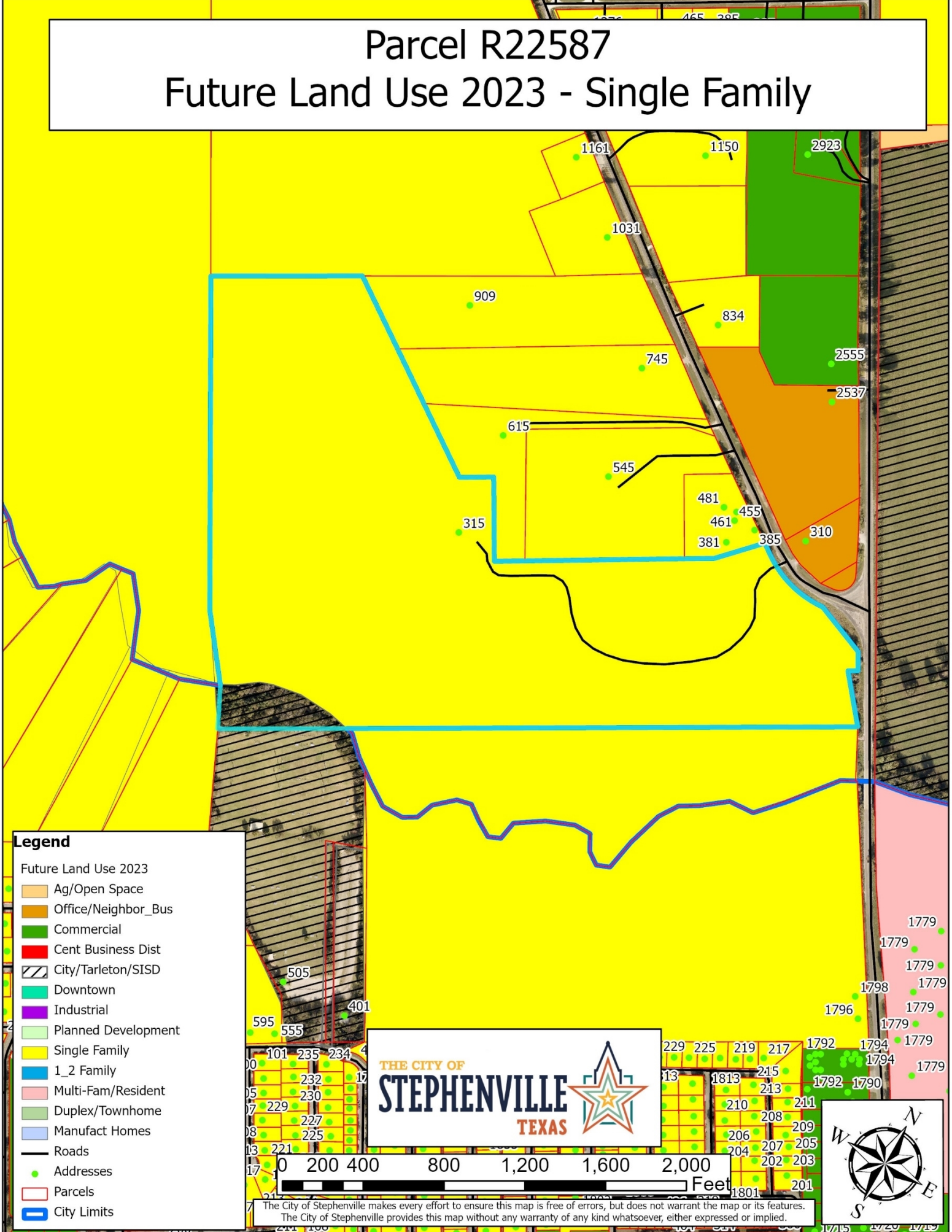
- ▭ Agricultural
- ▭ B-1 - Neighborhood Business
- ▭ B-2 - Retail and Commercial Business
- ▭ B-3 - Central Business
- ▭ B-4 - Private Club
- ▭ CTS - City, Tarleton, School
- ▭ DT - Downtown
- ▭ IND - Industrial
- ▭ PD - Planned Development
- ▭ R-1 - Single Family - 7,500
- ▭ R-1.5 - Single Family - 6,000
- ▭ R-2 - One and Two Family
- ▭ R-2.5 - Integrated Housing
- ▭ R-3 - Multiple Family
- ▭ RE - Single Family - 1 Acre
- ▭ City Limits



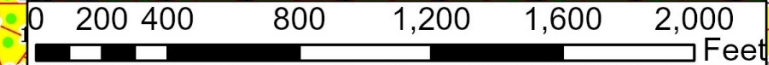
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# Parcel R22587

## Future Land Use 2023 - Single Family



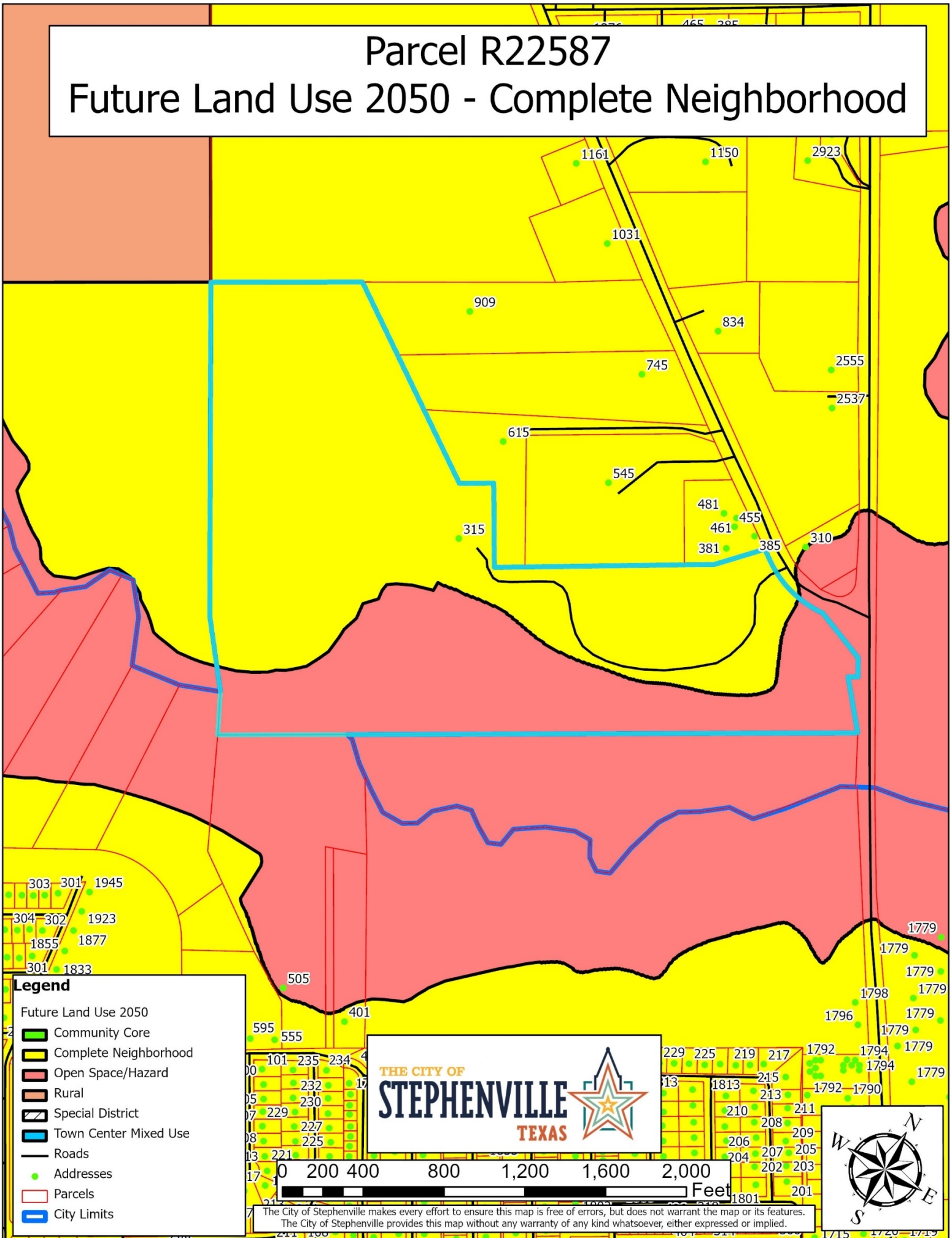
- Legend**
- Future Land Use 2023
    - Ag/Open Space
    - Office/Neighbor\_Bus
    - Commercial
    - Cent Business Dist
    - City/Tarleton/SISD
    - Downtown
    - Industrial
    - Planned Development
    - Single Family
    - 1\_2 Family
    - Multi-Fam/Resident
    - Duplex/Townhome
    - Manufact Homes
  - Roads
  - Addresses
  - Parcels
  - City Limits



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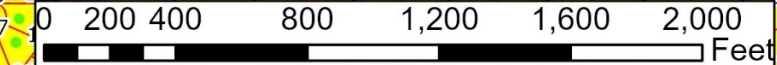
# Parcel R22587

## Future Land Use 2050 - Complete Neighborhood



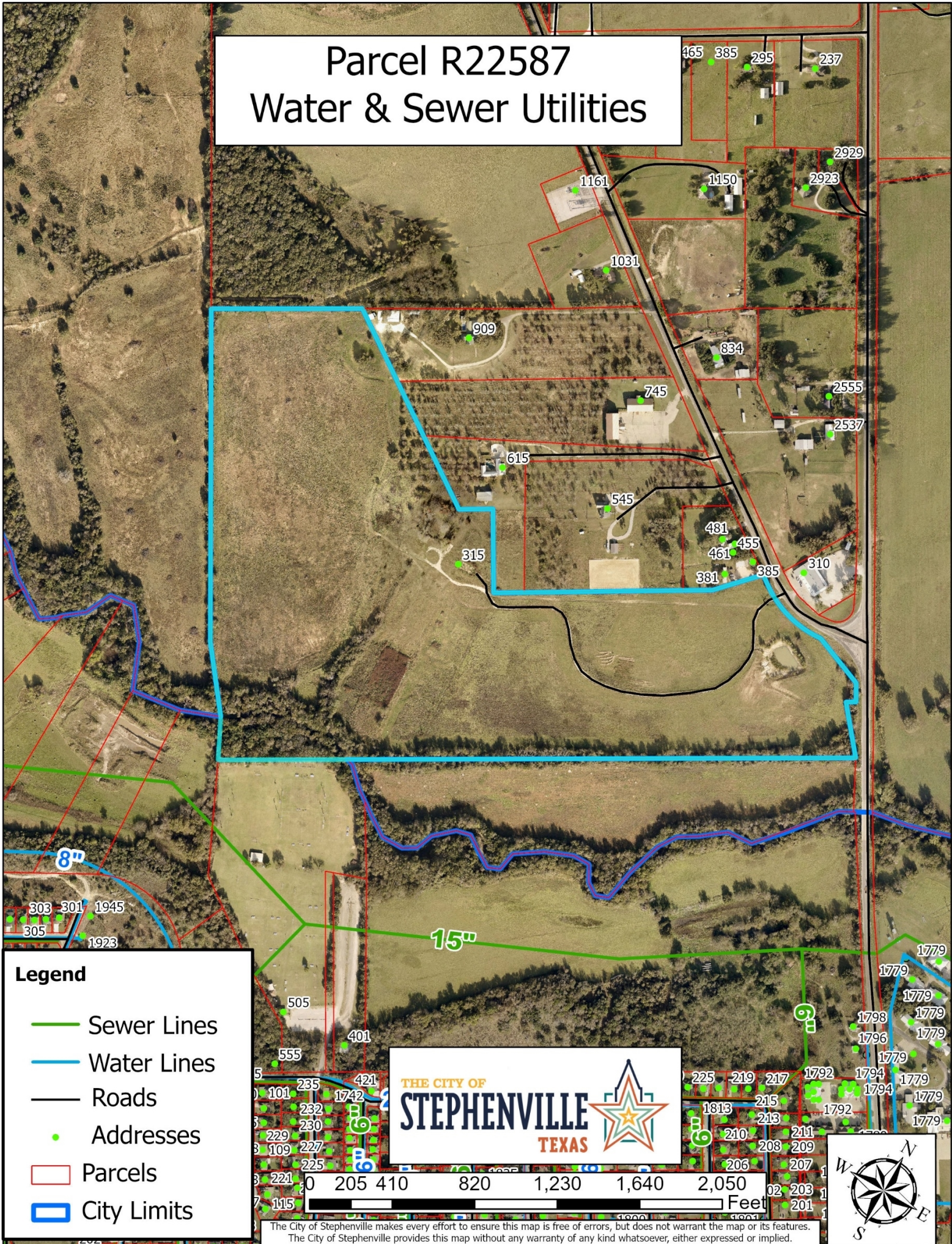
**Legend**

- Future Land Use 2050
  - Community Core
  - Complete Neighborhood
  - Open Space/Hazard
  - Rural
  - Special District
  - Town Center Mixed Use
- Roads
- Addresses
- Parcels
- City Limits



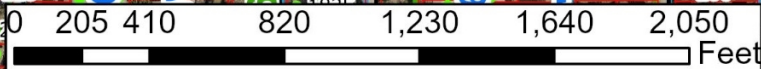
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# Parcel R22587 Water & Sewer Utilities



## Legend

- Sewer Lines
- Water Lines
- Roads
- Addresses
- Parcels
- City Limits



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# Parcel R22587

## 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000022586	381 FM2303	BEAM CODY & JUDY ADDISON	PO BOX 225	STEPHENVILLE	TX	76401
R000042774	1000 CR518	BOARD OF REGENTS OF THE TX A&M UNIVERSITY SYSTEM	301 TARROW STREET 6TH FLOOR	COLLEGE STATION	TX	77840-7896
R000022593	2537 N SH108	DICKENS JOHNNY R & KAREN K	2537 N SH108	STEPHENVILLE	TX	76401
R000022589	310 FM2303	GORMAN MILL CO INC	PO BOX 276	GORMAN	TX	76454
R000022571	1631 PR1022 OFF FM2303	GREAT SOUTHERN RANCH INC	1841 W OVERHILL	STEPHENVILLE	TX	76401-2323
R000022625	909 FM2303	HAMMOND CASSIE L & CURTIS R	909 FM2303	STEPHENVILLE	TX	76401-7239
R000072266	615 FM2303	NEHRING C JUSTIN & KRIS K	725 MAPLEWOOD DRIVE	STEPHENVILLE	TX	76401
R000063101	0 PRAIRIE WIND (OFF)	SOUTHWESTERN ISLA RIDGE LLC	105 EAST ROAD	STEPHENVILLE	TX	76401
R000063105	0 PRAIRIE WIND (OFF)	SOUTHWESTERN ISLA RIDGE LLC	105 EAST ROAD	STEPHENVILLE	TX	76401
R000022587	315 FM2303	SOUTHWESTERN PIGEON ROAD, LLC	105 EAST ROAD	STEPHENVILLE	TX	76401
R000046554	505 MISTLETOE	STEPHENVILLE SOCCER ASSOC INC	PO BOX 1213	STEPHENVILLE	TX	76401-0000
R000075760	545 FM2303	TUCKFIELD RICHARD NATHAN & TAWNI JEAN TUCKFIELD	545 FM 2303	STEPHENVILLE	TX	76401
R000066253	745 FM2303	VICTORY BAPTIST CHURCH OF STEPHENVILLE	PO BOX 1217	STEPHENVILLE	TX	76401
R000022542	2075 FM2303	WALLACE LELAND EARL	2075 FM2303	STEPHENVILLE	TX	76401
R000014958	1796 N GRAHAM	WALLACE LELAND EARL	2075 FM2303	STEPHENVILLE	TX	76401