



Planning & Zoning Commission
Regular Meeting

Wednesday, July 16, 2025, 5:30 PM
City Hall Council Chambers
298 W Washington
Stephenville, Texas 76401

AGENDA

CALL TO ORDER

CITIZENS GENERAL DISCUSSION

APPROVAL OF MINUTES

1. Consider approval of June 18, 2025 Meeting Minutes.

REGULAR AGENDA

2. **Application No.: PD 8927**

Applicant Ryan Hill, representing Quatro Soto Properties, LLC is requesting a rezone of property located at 640 N McCart, Parcel R33266, being S5700 SHAPARD & COLLINS; BLOCK 11; LOT 4, to the City of Stephenville, Erath County, Texas from (R-3), Multifamily, to (PD), Planned Development. The applicant will present the Development Plan.

3. **PUBLIC HEARING**

Application No.: PD 8927

4. **Application No.: PD 8927**

Consider approval of a rezone of property located at 640 N McCart, Parcel R33266, being S5700 SHAPARD & COLLINS; BLOCK 11; LOT 4, to the City of Stephenville, Erath County, Texas from (R-3), Multifamily, to (PD), Planned Development.

5. **Application No.: PD 8928**

Applicant Ryan Hill, representing Quatro Soto Properties, LLC is requesting a rezone of property located at 646 N McCart, Parcel R33265, being S5700 SHAPARD & COLLINS; BLOCK 11; LOT 2B & 3, to the City of Stephenville, Erath County, Texas from (R-3), Multifamily, to (PD), Planned Development. The applicant will present the Development Plan.

6. **PUBLIC HEARING**

Application No.: PD 8928

7. **Application No.: PD 8928**

Consider approval of a rezone of property located at 646 N McCart, Parcel R33265, being S5700 SHAPARD & COLLINS; BLOCK 11; LOT 2B & 3, to the City of Stephenville, Erath County, Texas from (R-3),

Multifamily, to (PD), Planned Development.

8. **Application No.: PD 8998**

Applicant Malcolm Kanute, representing Keewaydin Developments, is presenting a Conceptual Plan for a Planned Development of property located at 0 W Cedar St, Parcel R78345, being part of the A0342 HUDSON HC; to the City of Stephenville, Erath County, Texas.

9. **PUBLIC HEARING**

Application No.: PD 8998

10. **Application No.: PD 8998**

Provide comments regarding the Conceptual Plan for a Planned Development of property located at 0 W Cedar St, Parcel R78345, being part of the A0342 HUDSON HC; to the City of Stephenville, Erath County, Texas.

11. **Application No.: RZ 9012**

Applicant CCS Stephenville Properties, LLC., is requesting the assignment of Industrial Zoning for the recently annexed property located at 0 N US 281, Parcel R76680, being approximately 7.577 acres of the A0804 WILLIAMS M R Survey of the City of Stephenville, Erath County, Texas. With the assignment of zoning, the Commission is requested to recommend extension of the ETJ and subsequent revision of the Stephenville 2050 Comprehensive Plan.

12. **PUBLIC HEARING**

Application No.: RZ 9012

13. **Application No.: RZ 9012**

Consider approval of the assignment of Industrial Zoning for the recently annexed property located at 0 N US 281, Parcel R76680, being approximately 7.577 acres of the A0804 WILLIAMS M R Survey of the City of Stephenville, Erath County, Texas. With the assignment of zoning, the Commission is requested to recommend extension of the ETJ and subsequent revision of the Stephenville 2050 Comprehensive Plan.

ADJOURN

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.



PLANNING & ZONING COMMISSION

MEETING MINUTES
REGULAR MEETING
JUNE 18, 2025

CALL TO ORDER

The Planning & Zoning Commission of the City of Stephenville, Texas, convened on Wednesday, June 18, 2025, in the City Hall Council Chambers, 298 West Washington Street, for the purpose of a Planning & Zoning Commission Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present to wit:

Commissioners Present:

Place 1 - Tyler Wright
Place 3 - Lisa LaTouche
Place 4 - Bonnie Terrell
Place 5 - Nick Robinson
Place 6 - Brian Lesley
Alt. Place 1 - Lisa Pendleton
Alt. Place 2 - Bruce Delater

Commissioners Absent:

Place 2 - Justin Slawson
Place 7 - James Stephenson

Others Attending:

Steve Killen, Director of Development Services
Jan Strahan, Commission Secretary

Commission Chair Lisa LaTouche called the Planning & Zoning Commission to order at 05:30 PM.

CITIZENS GENERAL DISCUSSION

No one addressed the Commission at this time.

APPROVAL OF MINUTES

1. **Consider approval of May 21, 2025 Meeting Minutes**

MOTION by Brian Lesley, seconded by Nick Robinson, to approve the May 21, 2025 Meeting Minutes as presented. MOTION Carried unanimously.

REGULAR AGENDA

2. Administer Oath of Office for Lisa Pendleton, Alternate 1

Commission Secretary, Jan Strahan, administered the Oath of Office to Lisa Pendleton, Alt. Place 1.

3. Application No.: PD 8927 and PD 8928

Applicant Ryan Hill, representing Quatro Soto Properties, LLC, is presenting a Conceptual Plan for a Planned Development of property located at 640 N. McCart, Parcel R33266, and 646 N. McCart, Parcel R33265, being S5700 Shapard and Collins, Block 11, Lots 2B, 3 and 4, to the City of Stephenville, Erath County, Texas.

Development Services Director, Steve Killen gave the following report: Mr. Ryan Hill recently submitted plans for the proposed 18-unit, 2-story Town Home development. Each unit will be approximately 1400 sq. ft., individually platted, 4 bed/4 bath affordable homes close to the school. A rezone to a Planned Development is being requested due to variances that would be needed for the project.

Mr. Ryan Hill presented the conceptual plan and answered the Commissioners' questions.

4. PUBLIC HEARING

Application No.: PD 8927 and PD 8928

No one spoke in favor or opposition.

5. Provide comments regarding the Conceptual Plan for a Planned Development of property located at 640 N. McCart, Parcel R33266, and 646 N. McCart, Parcel R33265, being S5700 Shapard and Collins, Block 11, Lots 2B, 3 and 4, to the City of Stephenville, Erath County, Texas.

No formal action was taken.

ADJOURN

The meeting was adjourned at 5:44 pm.

APPROVED:

Lisa LaTouche, Chair

ATTEST:

Jan Strahan, Commission Secretary
REGULAR MEETING MINUTES
June 18, 2025

STAFF REPORT



SUBJECT: Application No.: PD 8927 and 8928

Applicant Ryan Hill, representing Quatro Soto Properties, LLC, is requesting a rezone from R-3, Multifamily, to PD, to Planned Development, of property located at 640 N. McCart, Parcel R33266, and 646 N. McCart, Parcel R33265, being S5700 Shapard and Collins, Block 11, Lots 2B, 3 and 4, to the City of Stephenville, Erath County, Texas. The applicant will present the Development Plan.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

RECOMMENDATION:

To review the development plan and make a recommendation to the City Council.

BACKGROUND:

A Conceptual Plan was presented to the Planning and Zoning Commission for the 1.267-acre development on June 18, 2025. The applicant is now requesting approval of the Development Plan and assignment of zoning to Planned Development.

The following development standards/deviations are summarized below as reflected in the project narrative.

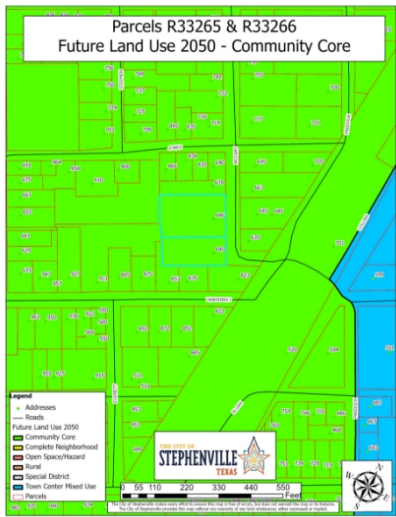
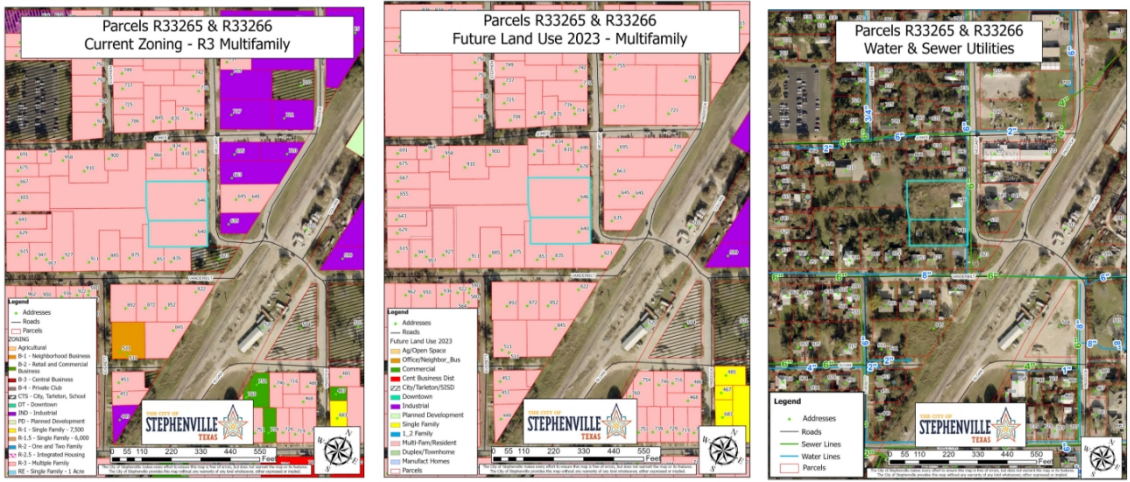
Requested

15.8 units/ac
Approved Species List for Trees
One garage and one drive
1400 SF Lot
21 to 26' lot frontage
2000 SF living space minimum
2' setback front (Garages)
10' Rear setback
10' landscape buffer w privacy fence
Roof deck at 35'
Architectural elements 8' above roof deck
ridge = 35'
20' fire lane
Open Space .27 acres
Waive PL dedication
Landscaping location TBD by Owner

Standard

14 units/ac
Landscape plantings TBD by Owner
Two spaces/unit
3000 SF Lot
30x100
800 SF home
15' front
15' rear setback
20' landscape buffer
Average of plate height and ridge = 35'
Building Height = Average of plate height and
ridge = 35'
24 to 26' fire lane
15% of site = 19%
Per door fee
30% of total shall be in front yard

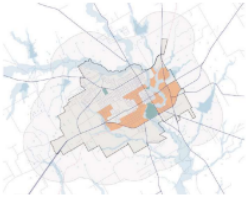
PROPERTY PROFILE:



FUTURE LAND USE

Community Core

The Community Core land use accommodates a mix of uses at a medium density. Diverse housing types are encouraged to support a range of residents. Local businesses, such as grocery stores, cafes, and local offices cater to the needs of the nearby residents and parks and green spaces provide recreational opportunities.



Sec. 154.08. Planned development district (PD).

8.A Description.

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than in possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

8.B Permitted Uses. In a PD Development District, no land shall be used, and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

NON-RESIDENTIAL PLANNED DEVELOPMENTS. Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and
- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

RESIDENTIAL PLANNED DEVELOPMENT. Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and
- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

8.C Prohibited Uses.

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

8.D Ownership. An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence,

8.E Development Schedule.

- (1)
- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

8.F

8.G Concept Plan. The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

8.H Development Plan Approval Required. No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

8.I Approval Procedures.

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
 - (a) A change in the character of the development;
 - (b) An increase in the gross floor areas in structures;
 - (c) An increase in the intensity of use;
 - (d) A reduction in the originally approved separations between buildings;
 - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
 - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;

- (g) A reduction in the originally approved setbacks from property lines;
 - (h) An increase in ground coverage by structures;
 - (i) A reduction in the ratio of off-street parking and loading space; and
 - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

8.J Development Plan Requirements. The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;
- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

8.K Conditions for Development Plan Approval.

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
 - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
 - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
 - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;

- (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
 - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
 - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

8.L Additional Conditions. Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

8.M Revocation.

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
 - (a) Approval was obtained or extended by fraud or deception; or
 - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
 - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
 - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
 - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
 - (d) "PD" provisions may vary setbacks with approval.

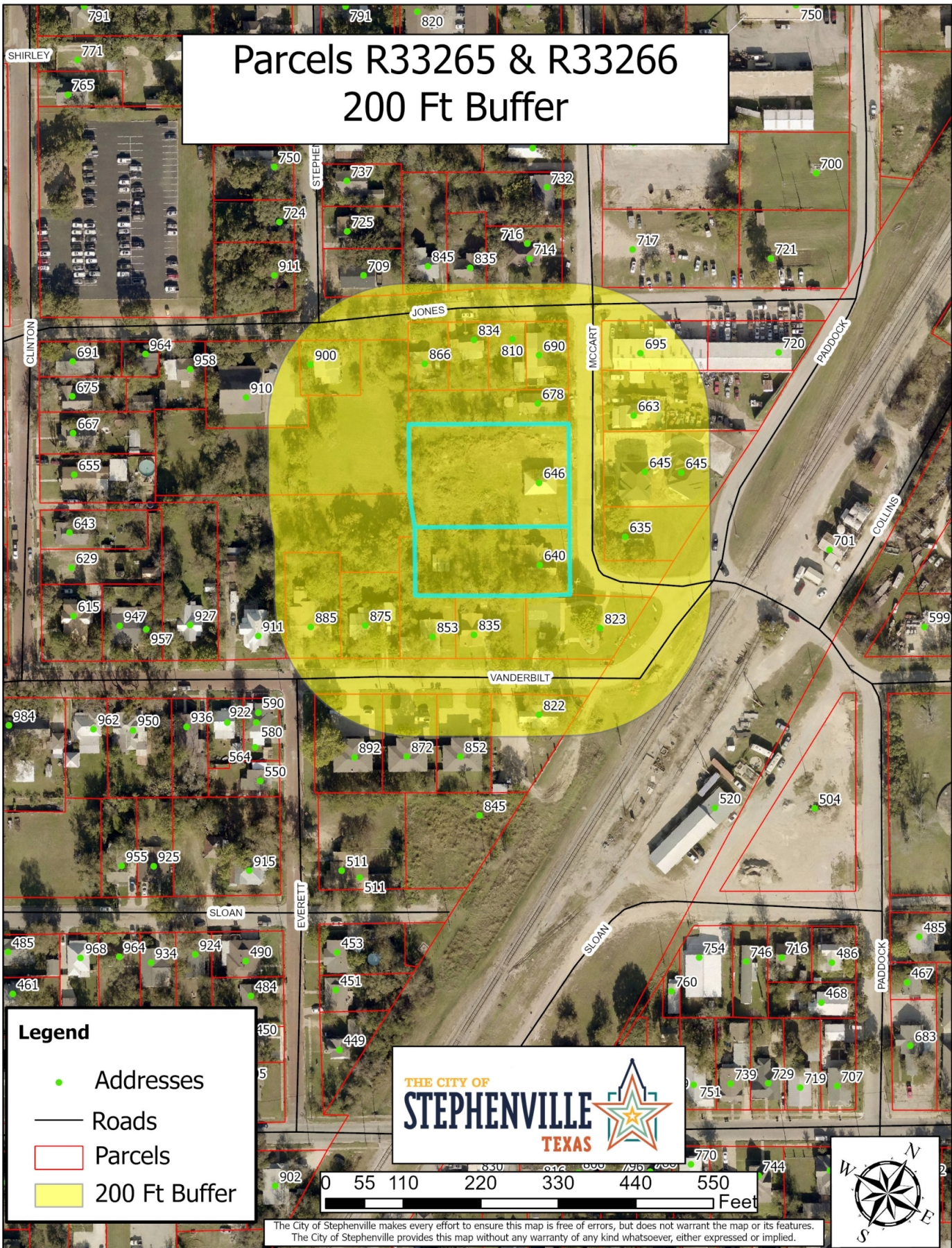
FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

ALTERNATIVES:

- 1) Recommend the City Council Approve the Development Plan and assign zoning of Planned Development.
- 2) Recommend the City Council reject the Development Plan.

Parcels R33265 & R33266 200 Ft Buffer



Legend

- Addresses
- Roads
- ▭ Parcels
- ▭ 200 Ft Buffer

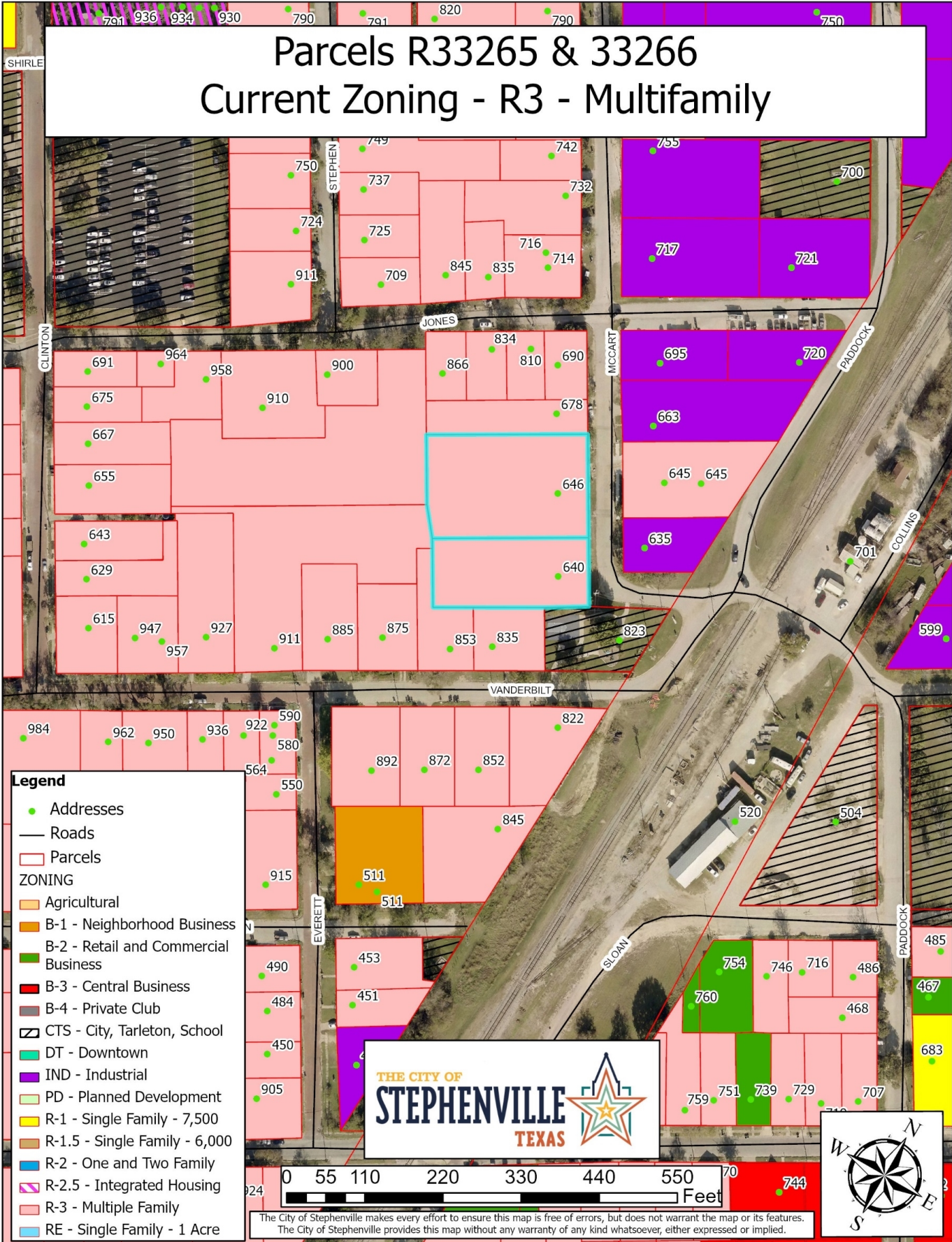


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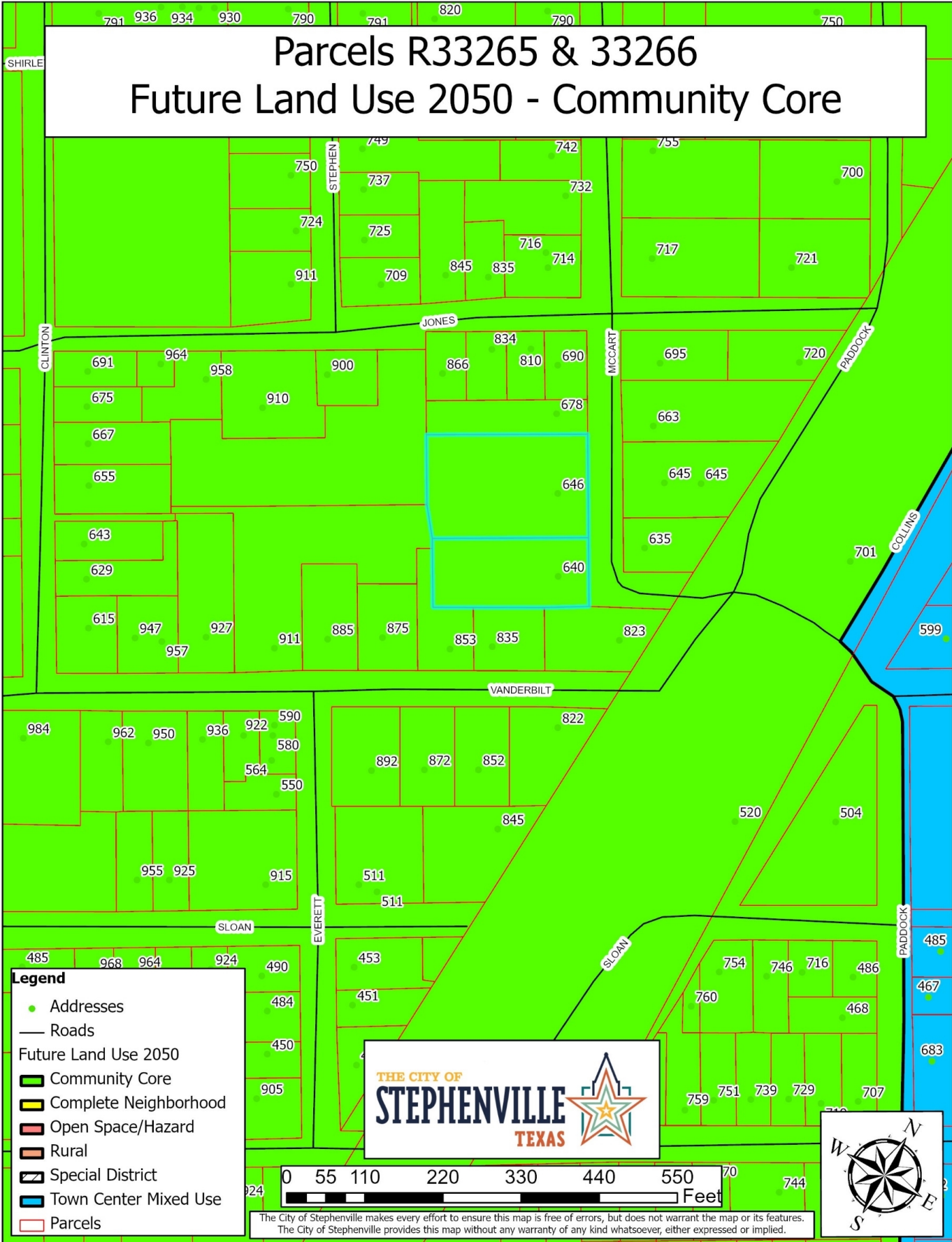
Parcels R33265 & 33266

Current Zoning - R3 - Multifamily



Parcels R33265 & 33266

Future Land Use 2050 - Community Core



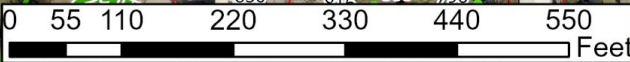
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Parcels R33265 & R33266 Water & Sewer Utilities



Legend

- Addresses
- Roads
- Sewer Lines
- Water Lines
- Parcels



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Parcel ID R33266

200 Ft Buffer

Address

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000077002	0 JONES	BURDICK BRYCE NATHAN	101 ANGELA CT	STEPHENVILLE	TX	76401
R000033462	910 W JONES	BURDICK BRYCE NATHAN	101 ANGELA CT	STEPHENVILLE	TX	76401
R000032743	835 VANDERBILT	CADENHEAD JEFFREY J	835 W VANDERBILT	STEPHENVILLE	TX	76401
R000032744	839 W VANDERBILT	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000014966	0 N PADDOCK & VANDERBILT	FORT WORTH & WESTERN RAILROAD	6300 RIDGLEA PLACE STE 1200	FORT WORTH	TX	76116-5738
R000033257	635 MCCART	HALL LIVING TRUST	4223 BEACH VIEW CT	PORT CHARLOTTE	FL	33948
R000053042	853 VANDERBILT	HOWARD OLA FAYE	5441 S US377	STEPHENVILLE	TX	76401
R000033474	875 VANDERBILT	JOHNSON LEN WELLS	875 VANDERBILT	STEPHENVILLE	TX	76401-0000
R000032747	822 VANDERBILT	JUAREZ LUIS & REBECCA	822 WEST VANDERBILT	STEPHENVILLE	TX	76401
R000033472	885 VANDERBILT	KING RUSSELL W	19211 S US HWY 377	DUBLIN	TX	76446-4365
R000033262	866 JONES	LITTLE HOLLYE OBEDIE	295 E CLIFTON	STEPHENVILLE	TX	76401
R000033463	900 W JONES	MATA DIANA ELIZABETH LOPEZ	900 W JONES ST	STEPHENVILLE	TX	76401
R000033281	845 JONES	MORAVEC RACHEL ANNA	845 W JONES	STEPHENVILLE	TX	76401
R000033279	714 MCCART	MULBARGER TODD & KIM	153 VALLEY OAK PLACE	WOODBIDGE	CA	95258
R000030299	709 STEPHEN	NORRIS STEVEN E & CAROLYN C	113 BLUE RIBBON LANE	STEPHENVILLE	TX	76401
R000032746	852 W VANDERBILT	NOWAK SM INVESTMENTS	103 BRANDY LN	STEPHENVILLE	TX	76401
R000032745	892 W VANDERBILT	NOWAK SM INVESTMENTS	103 BRANDY LN	STEPHENVILLE	TX	76401
R000033259	810 JONES	QUATRO SOTOS PROPERTIES LLC	695 N MCCART	STEPHENVILLE	TX	76401
R000033258	645 MCCART	QUATRO SOTOS PROPERTIES LLC	695 N MCCART	STEPHENVILLE	TX	76401
R000033265	646 MCCART	QUATRO SOTOS PROPERTIES LLC	695 N MCCART	STEPHENVILLE	TX	76401
R000033266	640 MCCART	QUATRO SOTOS PROPERTIES LLC	695 N MCCART	STEPHENVILLE	TX	76401
R000033274	717 MCCART	QUATRO SOTOS PROPERTIES LLC	695 N MCCART	STEPHENVILLE	TX	76401
R000073712	872 W VANDERBILT	SHUTEYE PEAK PROPERTIES LLC	351 N WALNUT RD, SUITE 15	TURLOCK	CA	95380
R000033260	690 MCCART	SOTO AURELIA	3175 CR386	STEPHENVILLE	TX	76401-8510
R000033255	695 MCCART	SOTO AURELIA	3175 CR386	STEPHENVILLE	TX	76401-8510
R000033256	661 MCCART	SOTO JOE FERNANDO	663 N MCCART	STEPHENVILLE	TX	76401
R000033263	678 MCCART	THE WRINKLE FAMILY TRUST	1005 CHARLOTTE	STEPHENVILLE	TX	76401
R000033261	834 JONES	VILLAS KRISTEN & SUSAN VILLAS LEWIS	17701 EASTWARD LOOK	DRIPPING SPRINGS	TX	78620
R000033280	835 JONES	WELLS HOUSTON & JOYCE W (LIFE ESTATE)		STEPHENVILLE	TX	76401
R000033470	911 VANDERBILT	YOUNG DANNY M & HOLLY LAMB	911 W VANDERBILT	STEPHENVILLE	TX	76401-0000

LEGEND

- OPEN SPACE
- PROJECT BOUNDARY
- PROP DETENTION AREA
- BUILDING SETBACK LINE
- PROP PROPERTY LINES

A comprehensive Public Works review will be completed upon receipt of the civil construction plans and drainage study.

Please refer to the City of Stephenville Subdivision Ordinance (Chapter 155) and Engineering Standards Manual for additional information regarding regulations, procedures, standards, etc. that may be applicable to this development.

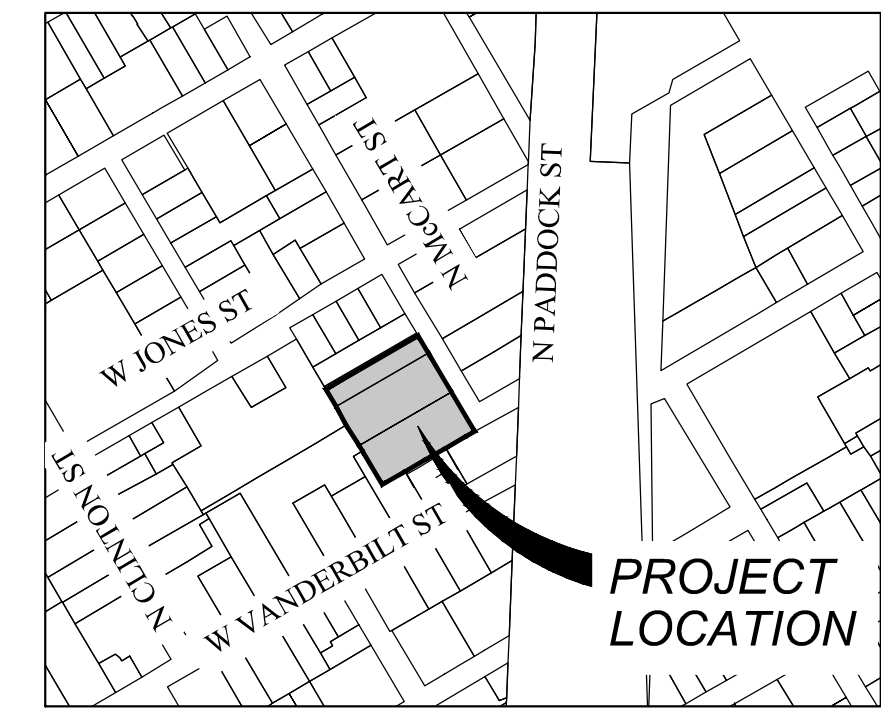
https://library.municode.com/tx/stephenville/codes/land_use_and_zoning?nodeId=TITXVLAUS_CH155SU
<https://www.stephenvilletx.gov/DocumentCenter/View/611/Engineering-Standards-Manual-PDF?bidId=>

Please contact the Public Works office at publicworks@stephenvilletx.gov with any questions.

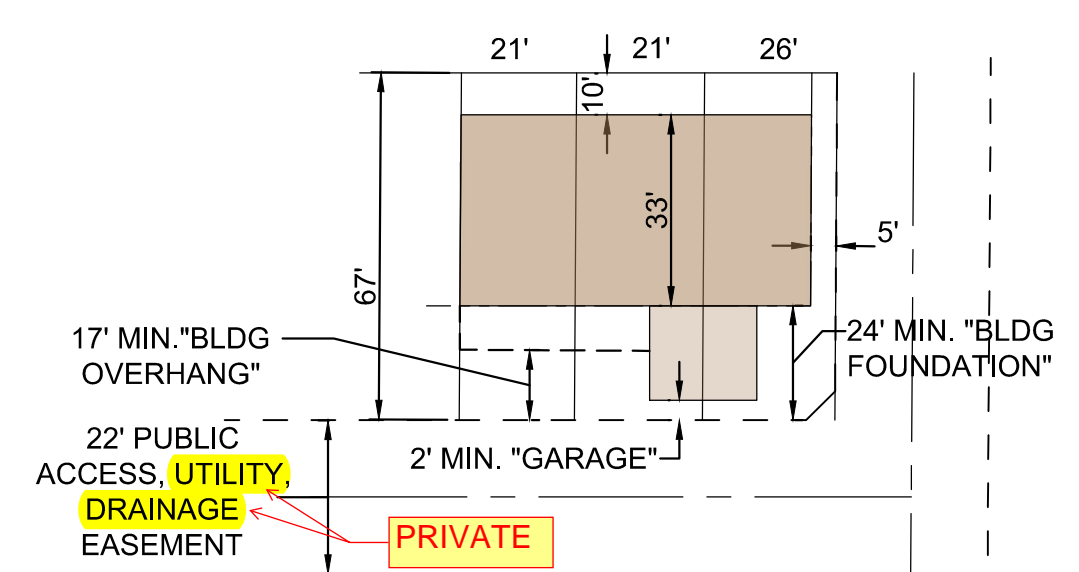
PROPOSED 3-STORY TOWN HOMES
R2.5 BASE ZONING

20 UNITS
 4 BEDROOMS/UNIT
 2 PARKING SPACES/UNIT
 40 PARKING SPACES REQUIRED

PRIVATE DRIVES = 20
 PRIVATE GARAGE = 20
 GUEST PARKING = 20
 TOTAL = 60



VICINITY MAP
 NOT TO SCALE



TYPICAL LOT

NTS
 MIN LOT SIZE 67' X 21' = 1,407 SF

SITE INFORMATION		
LOT INFORMATION		
	REQUIRED (R2.5)	PROVIDED
LOT AREA	3,000 SF	1,407 SF
LOT WIDTH/FRONTAGE	30 FT	21 FT
LOT DEPTH	100 FT	67 FT
FRONT SETBACK	15 FT	24 FT
REAR SETBACK	15 FT	10 FT
SIDE SETBACK	5 FT	5 FT
BUILDING SIZE		
BUILDING COVERAGE AS % OF LOT AREA	40%	49%
TOWNHOUSE UNIT AREA	800 SF	693 SF
GARAGE AREA		242 SF
BUILDING COVERAGE (INCLUDING GARAGE)		67%
DENSITY		
MAX DENSITY	14 UNITS/AC	15.7 UNITS/AC
OPEN SPACE	0.36 AC	29% COVERAGE (15% MINIMUM)



Existing offsite drainage through the development property cannot be diverted, concentrated, or impounded in a manner that damages another property.

Existing utility poles appear to be in conflict with proposed driveway approach and sidewalk alignments. The developer is responsible for coordinating relocation of private utilities as needed.

City records indicate the existing N. McCart ROW width is 50'. Please confirm. (If the existing ROW width is less than 50', then additional ROW dedication is required.)

The location of the proposed master water meter should be identified. (If the meter vault is located outside the public ROW, then a "Municipal Utility Easement" is required.)

30" concrete curb and gutter is required along N. McCart.

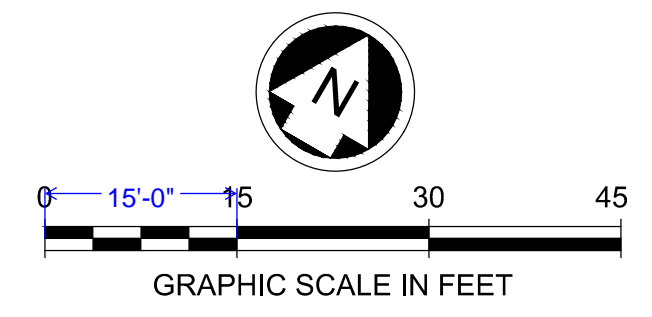
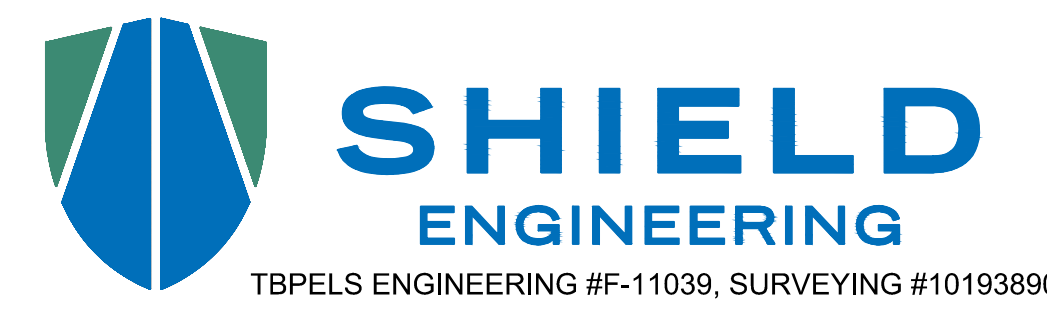
Concentrated flow from detention outlets is not allowed over sidewalks.

A minimum 5' sidewalk is required along N. McCart.

The maximum ponding depth within parking areas in the 100-year storm event cannot exceed 12".

The location of proposed dumpster enclosure(s) or polycart storage should be identified.

2025/07/02 ABRIL TELLEZ LUCAS 20250701 646 N MCCART EXHIBITS 20250626 LAND PLAN 3 BUILDINGS WITH GARAGE/LAND PLAN - TOWNHOMES (WITH GARAGE).DWG



CITY OF STEPHENVILLE, TEXAS

646 N McCart

LAND PLAN - TOWN HOMES
 6.27.2025

DESIGNED: _____	SCALE: 1" = 15'	DATE: JUL 2025	SHEET: 1 OF 1
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646 N McCart

I. WATER MAINS

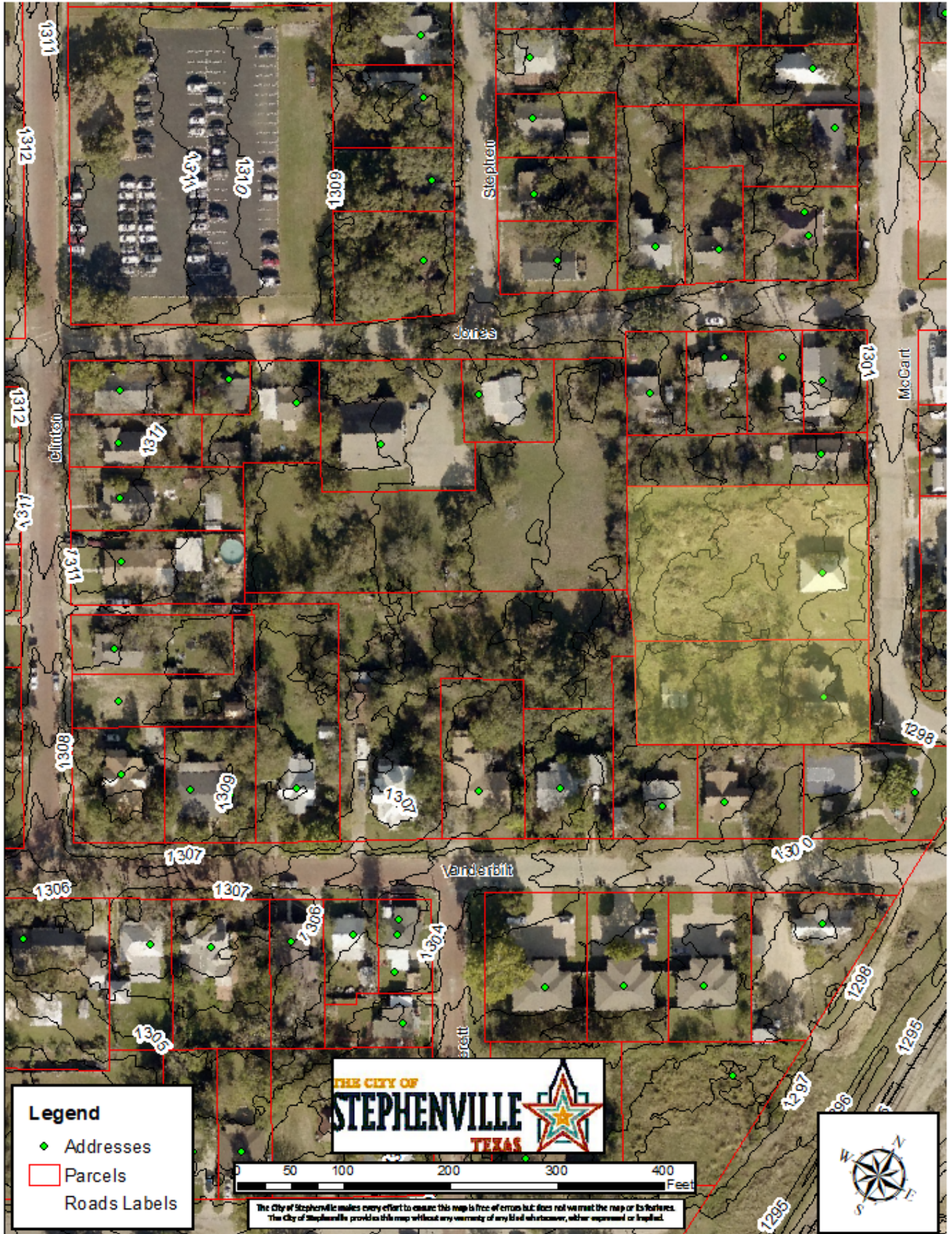
1.11 MASTER METER AND SUB-METERING

Property owners utilizing sub-metering shall comply with applicable state Requirements.

- a. Water service to multi-unit facilities with greater than four dwelling units; including, but not limited to, condominiums, apartments, multi-tenant buildings, multi-tenant communities, and multiple use facilities, will be provided through a city-approved master meter for developments situated on singularly platted lots.
- b. Water Service to townhome-style developments, with a single building structure spanning more than one individually platted lot, will require the development to provide standard, city-approved, right-of-way widths for adjacent roadways.
- c. Master meters must be approved by the city and paid for by the customer/developer.
- d. At no time shall an accessory dwelling unit have a separate, publicly maintained, water or wastewater meter.
- e. Sub-meters and plumbing on the customer side of the master meter will be installed and maintained at the customer's expense.

<https://www.stephenvilletx.gov/DocumentCenter/View/611/Engineering-Standards-Manual-PDF?bidId=>

2019 CONTOURS



PLANNED DEVELOPMENT STANDARDS

The 1.267-acre property shall be developed as a single-family attached lots in accordance with the land uses and development standards for the (R-2.5) Single-Family Town Home base zoning district with the following exceptions, special conditions, restrictions and regulations. Development standards not addressed below shall be regulated by the base zoning district.

General:

1. Development shall be in general conformance with the following Conceptual Layout with residential and private open space components as shown on Exhibit B-1.
2. A property owner's association (POA) shall be established prior to recording the final plat for the development.
3. The POA will be responsible for the improvement and maintenance of all common areas and/or common facilities dedicated to the POA.
4. No Tree Survey or Preservation Requirements however 15% minimum open space will be provided with plantings made at the discretion of the Owner(s) based on the City's Approved Tree Species List.

Residential Lots and Town Homes:

The planned development shall include lot Types as shown on the Concept Plan and based on the following:

1. Maximum density: 20 residential lots;
2. Garage orientation:
 - a. Front or side entry permitted
 - b. Roof-Top Terrace permitted on each garage.
3. Minimum lot area: 1,400 square feet;
4. Minimum floor area of homes: 693 square feet
 - a. Minimum Livable Area: 2,000 square feet
5. Maximum building coverage, excluding lead walks, driveways, patios, and other flatwork: 50%
 - a. Including single car garage with rooftop terrace = 70%
6. Minimum lot width (measured along the front building line):
 - a. Internal Lots – 21 feet;
 - b. End Cap Lots: 26 feet;
7. Minimum lot depth: 67 feet;
8. Minimum Setbacks:
 - a. Minimum front yard setback
 - i. 2 feet to Garages;
 - ii. 24 feet to Building Foundation (Front Door)
 - iii. 17 feet to Roof Overhangs (Second Story and Greater)
 - iv. Flatwork and Landscaping: No Setback Requirements
 - b. Minimum rear yard setback: 10 Feet
 - c. Minimum side yard setback for end-cap units shall be 5 feet
 - d. On corner lots, the "corner clips" shall not be considered when measuring setbacks. In no case shall buildings, structures, or fencing impact site visibility.
9. Minimum Landscape Buffer to Adjacent Residential Uses/ Zoning: 10 feet
10. Max Building Height:
 - a. Roof deck: 35 feet

PLANNED DEVELOPMENT STANDARDS

- b. Architectural elements including: parapet walls, stair wells, railing, shade structures, etc. are permitted up to 8 feet above the roof deck height.
11. Fire Lane and Public Access:
- a. Minimum width: 20 feet
 - b. 2 points of Access required as shown on the Concept Plan
 - c. Public Access & Utility Easement will be non-exclusive and may Contain City Water, Sewer, and Drainage Utilities as well as Franchise Utilities as needed.
12. No dedication or roadway improvements required along McCart Street.

Amenities:

1. Open Space/Parkland:
- A minimum of 0.20 acres shall be reserved for Private Open Space, shall be provided in general conformance with Exhibit B-1, and shall include the following: a picnic area, gazebo, dog waste station facilities, and a grassed open space (“Courtyard Area”).
- a. Portions of this “Courtyard Area” may be utilized for dry detention facilities.
 - b. No Parkland dedication or fee in lieu of shall be required in consideration for the private open space and amenities provided.
2. Landscaping
- a. Landscaping of open spaces within the planned development shall include the following:
 - (i.) At the time of home construction, home builder shall plant a minimum of (8) - 3” Minimum caliper street trees in the Open Space Areas or Court Yard. Location decided by Builder and species from the Approved City Tree Species List.
 - (ii.) All open areas shall be grassed or accented with a crushed granite or other design element. All open areas except utility easements between residential lots shall be irrigated where necessary.
3. Sidewalks:
- a. Developer shall construct the following sidewalks:
 - (i.) 5’ wide sidewalks within right-of-way adjacent to McCart Street;
 - (ii.) 5’ Sidewalk from frontage of property to existing sidewalk at Bill Johnson Park per Detail Plan.
 - b. Sidewalks shall be constructed of concrete and shall meet city specifications for sidewalk construction.
 - c. No additional sidewalks or trails will be required within the boundary of the development.
4. Parking
- a. One Private Parking Space and One Private Garage will be provided per Unit. (2 Total Parking Accommodations per Unit)
 - b. A minimum of 20 Guest Parking Spaces will be provided and maintained by the POA.
5. Walls and Fencing:
- a. A masonry (brick or stone) column, metal security fence and automatic gate system is permitted but not required to be constructed along the frontage of McCart Street.
 - b. With a minimum of 6’ in height, a wood fence shall be provided along the boundaries shared with adjacent residential parcels as shown on the Concept Plan.
 - c. No additional perimeter walls or fencing will be required.

PLANNED DEVELOPMENT SCHEDULE

The 1.267-acre property shall be developed as a single-family attached lots per the following schedule in accordance with the land uses and development standards for the (R-2.5) Single-Family Town Home base zoning district and the associated Planned Development Standards by separate document.

Schedule:

1. Engineering & Construction Plan Approval
 - a. December 15th, 2025
2. Building Permit Issued
 - a. March 1st, 2026
3. Construction
 - a. April 1st, 2026 to June 15th 2027
4. Certificate of Occupancy
 - a. August 1st, 2027



EXTERIOR ELEVATION
STEPHENVILLE TOWNHOMES

646 McCART, LLC
646 N McCART STREET
STEPHENVILLE, TX 76401

* FOR CONCEPTUAL USE ONLY; NOT FOR CONSTRUCTION

SCALE:



PROJECT NUMBER: 250009
DATE: 07/14/2025

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EXTERIOR ELEVATION STEPHENVILLE TOWNHOMES

646 McCART, LLC
646 N McCART STREET
STEPHENVILLE, TX 76401

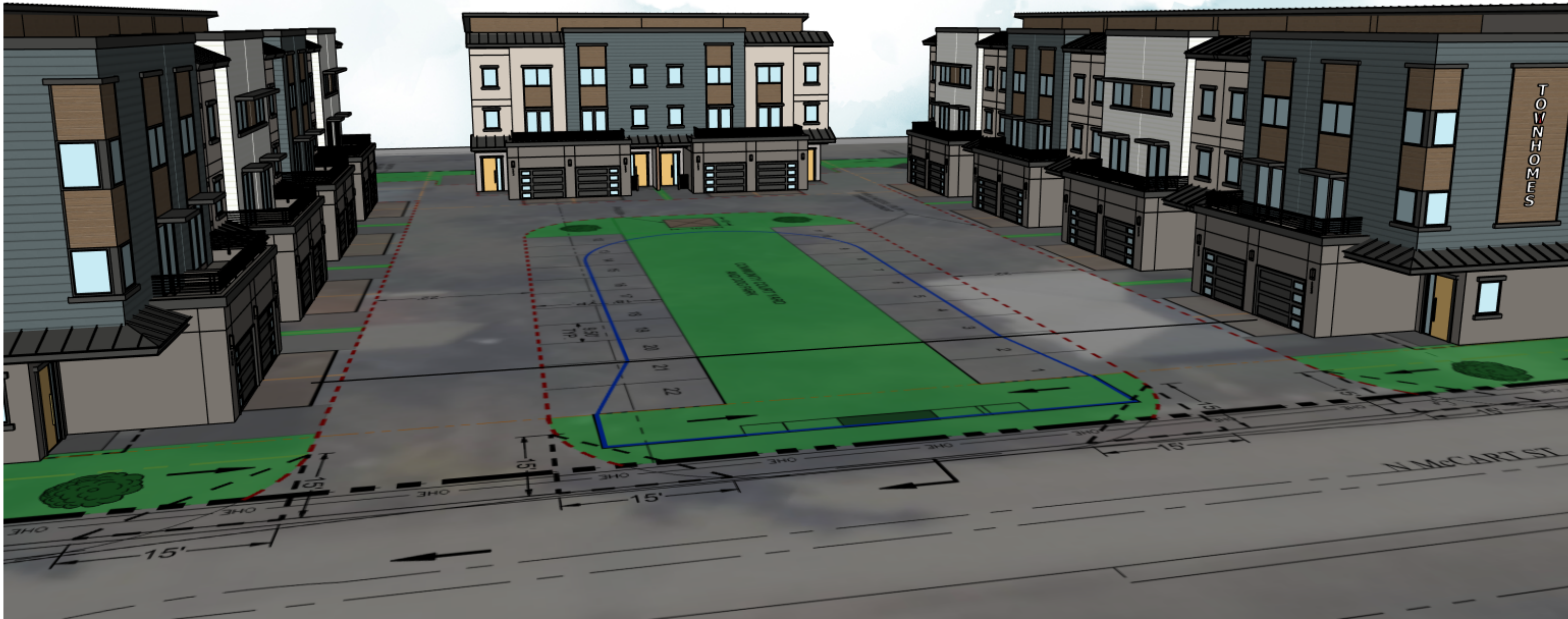
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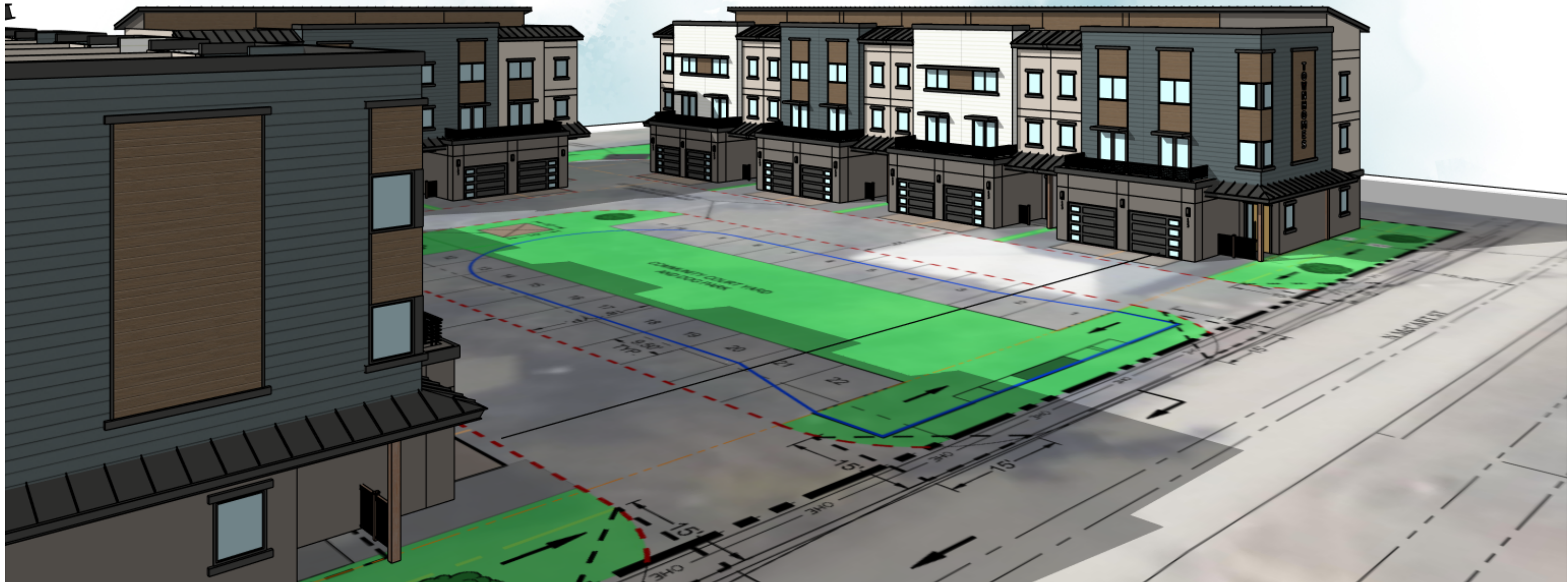
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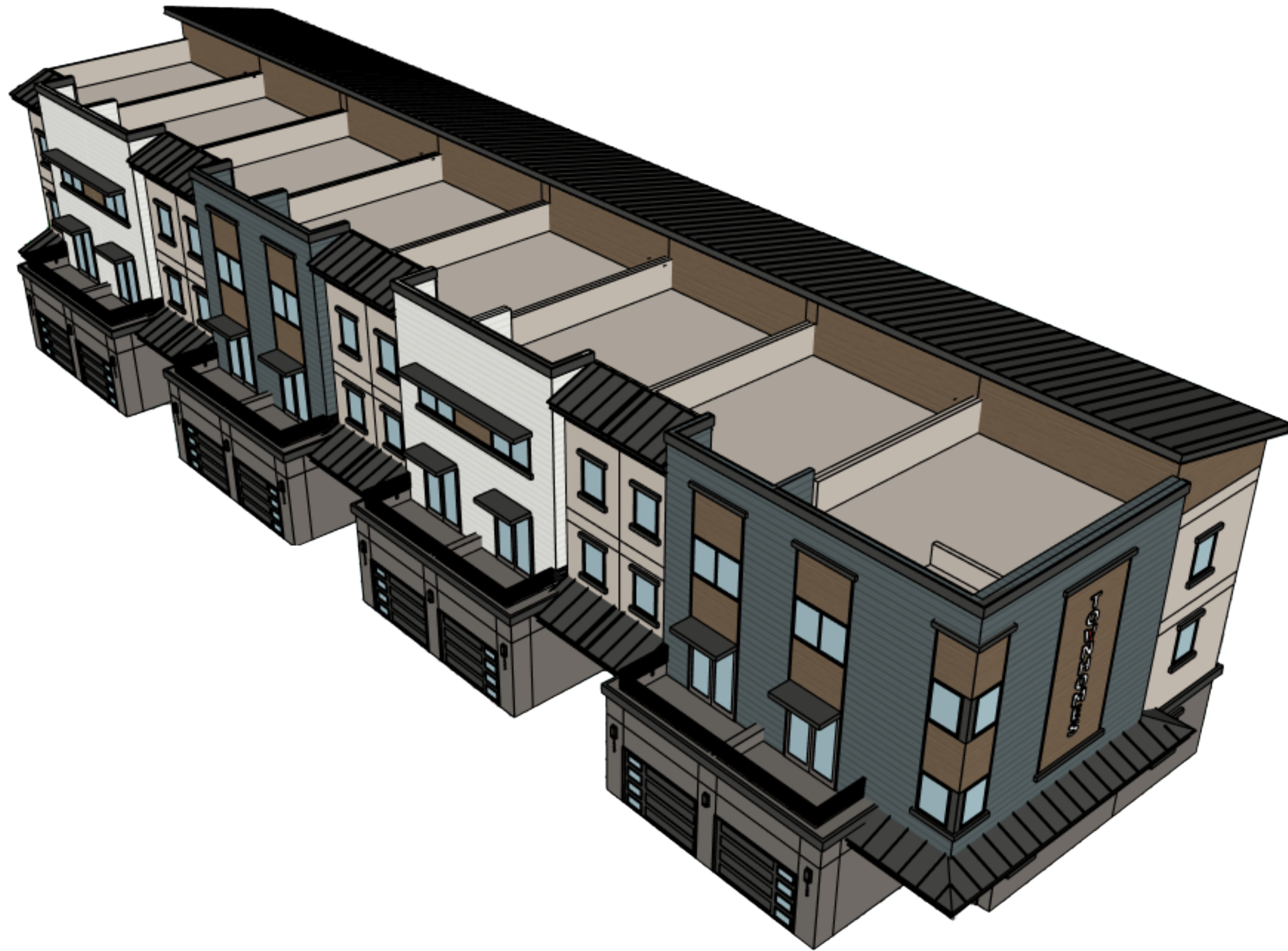
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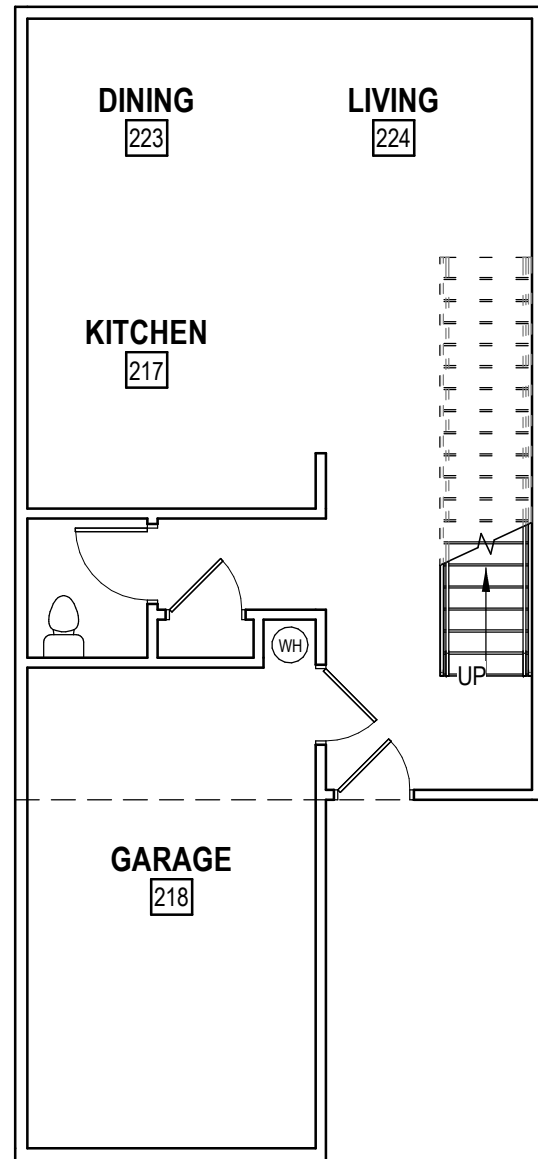


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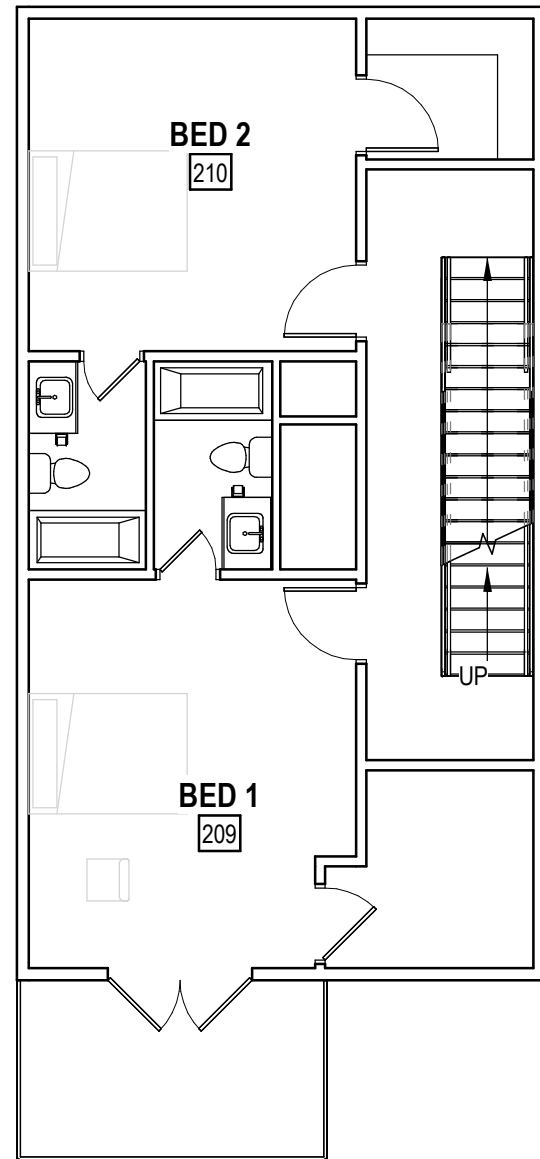
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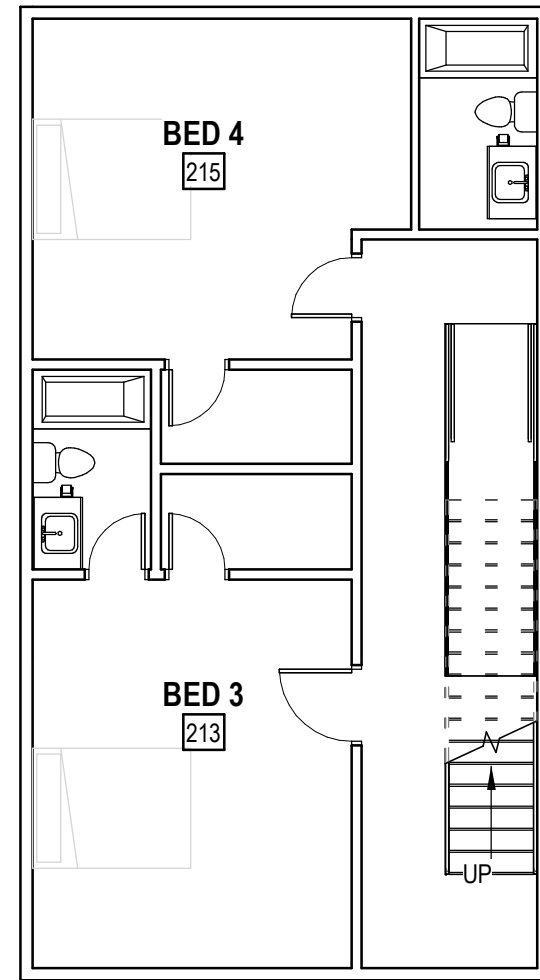
1ST FLOOR PLAN - UNIT

1/8" = 1'-0"



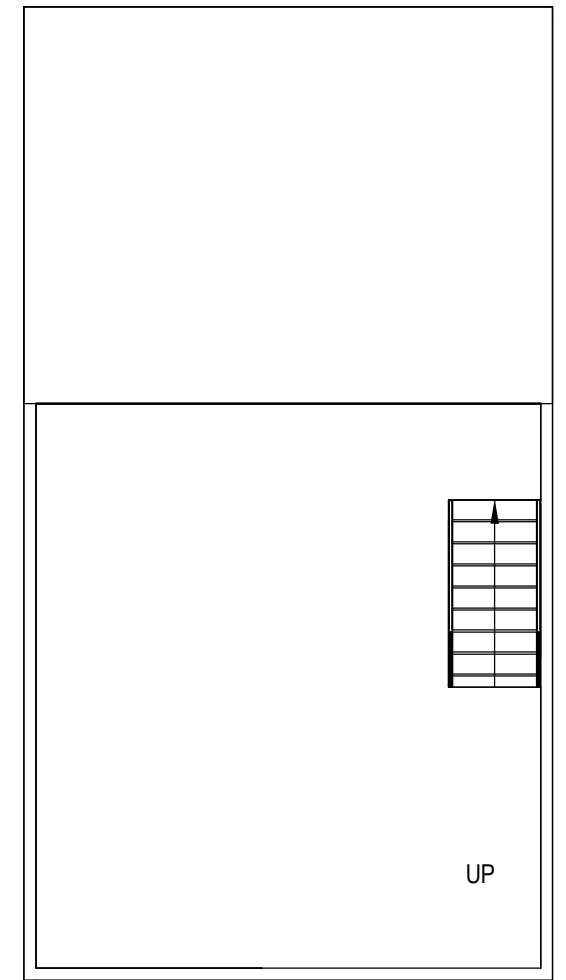
2ND FLOOR - UNIT

1/8" = 1'-0"



3RD FLOOR - UNIT

1/8" = 1'-0"



ROOF PLAN - UNIT

1/8" = 1'-0"

DESIGN FLOOR PLANS
STEPHENVILLE TOWNHOMES

646 McCART, LLC
646 N McCART STREET
STEPHENVILLE, TX 76401

* FOR CONCEPTUAL USE ONLY; NOT FOR CONSTRUCTION

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 250009
DATE: 07/14/2025

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STAFF REPORT

SUBJECT: Application No.: PD 8988

Applicant Malcolm Kanute, representing Keewaydin Developments, is presenting a Conceptual Plan for a Planned Development of property located at 0 W Cedar St, Parcel R78345, being part of the A0342 HUDSON HC; to the City of Stephenville, Erath County, Texas.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

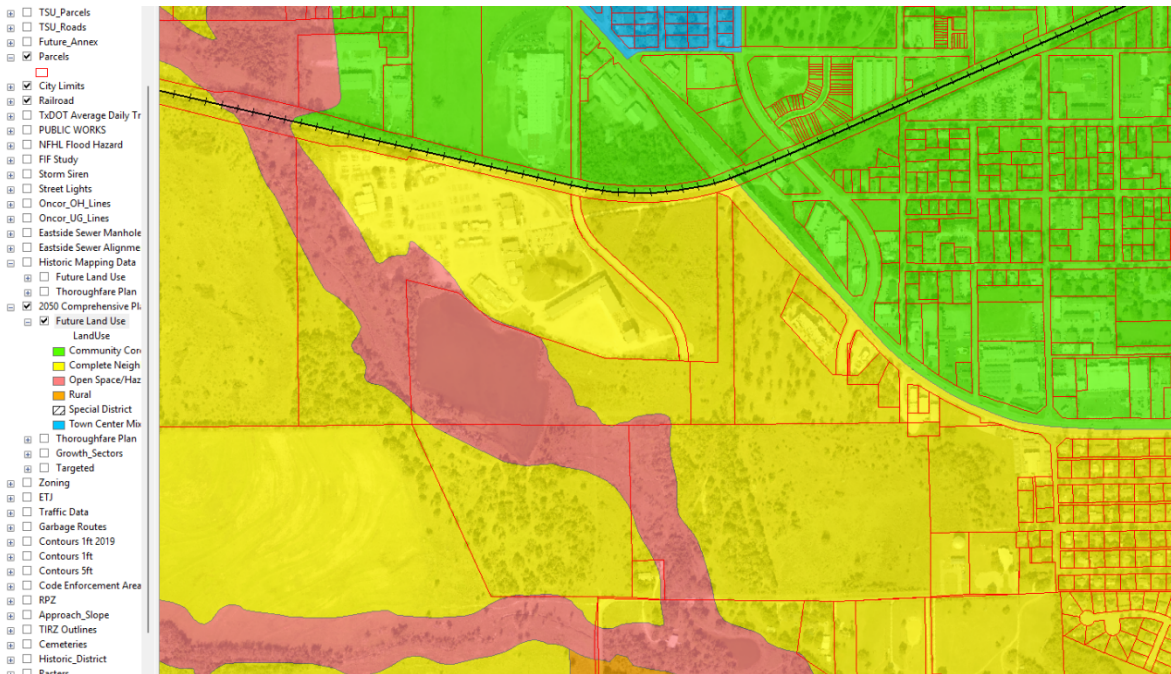
RECOMMENDATION:

To review the conceptual plan and provide feedback to Mr. Kanute regarding the proposed Planned Development. The applicant will return for the rezone request to Planned Development and for the approval of the Development Plan.

BACKGROUND:

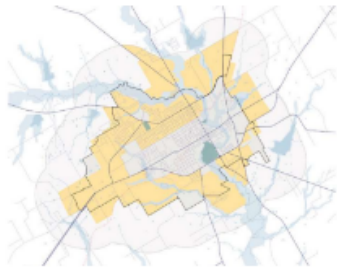
PROPERTY PROFILE:

STEPHENVILLE 2050 Future Land Use



Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



Sec. 154.08. Planned development district (PD).

8.A Description.

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than in possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

8.B Permitted Uses. In a PD Development District, no land shall be used and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

NON-RESIDENTIAL PLANNED DEVELOPMENTS. Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and

- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

RESIDENTIAL PLANNED DEVELOPMENT. Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and
- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

8.C Prohibited Uses.

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

8.D Ownership. An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application.

8.E Development Schedule.

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns of successors in interest.

- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

8.F Plat Requirements. No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirement of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

8.G Concept Plan. The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

8.H Development Plan Approval Required. No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

8.I Approval Procedures.

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
 - (a) A change in the character of the development;
 - (b) An increase in the gross floor areas in structures;
 - (c) An increase in the intensity of use;
 - (d) A reduction in the originally approved separations between buildings;
 - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
 - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;
 - (g) A reduction in the originally approved setbacks from property lines;

- (h) An increase in ground coverage by structures;
 - (i) A reduction in the ratio of off-street parking and loading space; and
 - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

8.J Development Plan Requirements. The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;
- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

8.K Conditions for Development Plan Approval.

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
 - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
 - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
 - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;

- (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
 - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
 - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

8.L Additional Conditions. Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

8.M Revocation.

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
 - (a) Approval was obtained or extended by fraud or deception; or
 - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
 - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
 - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
 - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
 - (d) "PD" provisions may vary setbacks with approval.

FACTORS TO CONSIDER:

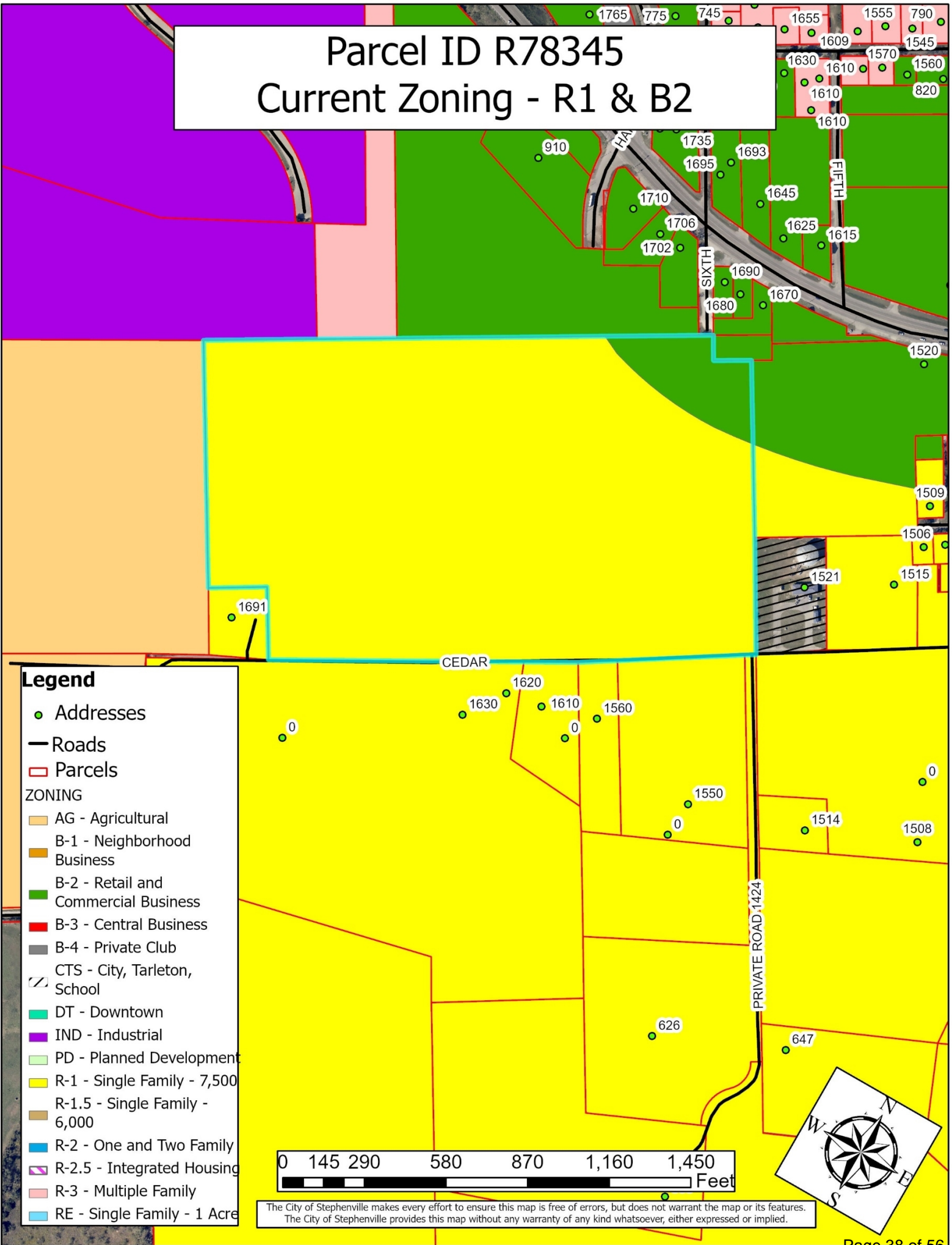
- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

ALTERNATIVES:

No Formal Action Required

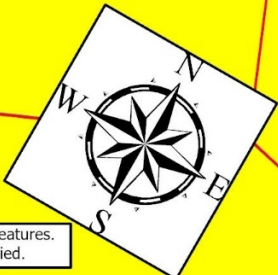
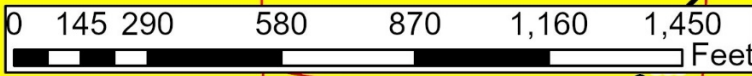
Parcel ID R78345

Current Zoning - R1 & B2



Legend

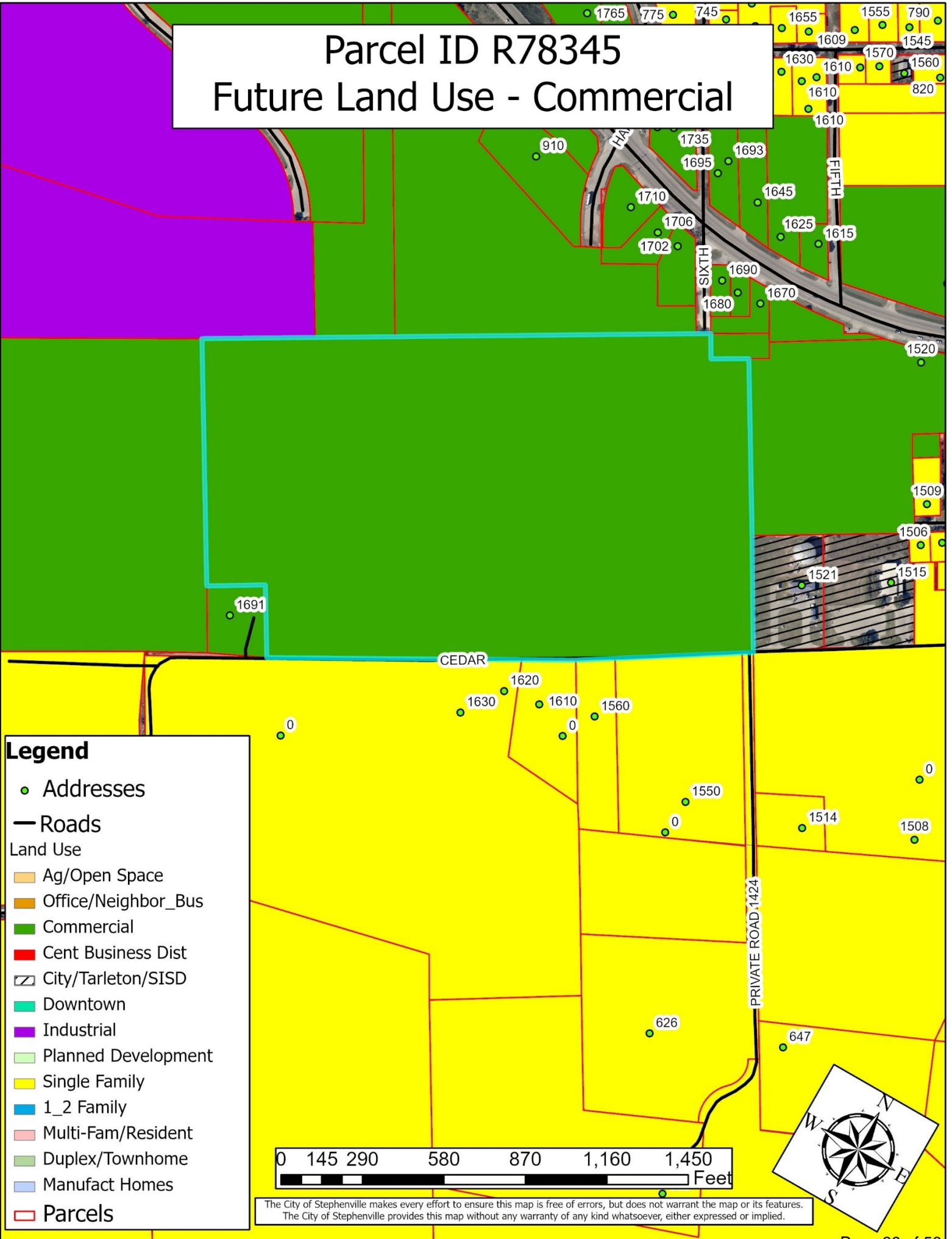
- Addresses
 - Roads
 - Parcels
- ZONING**
- AG - Agricultural
 - B-1 - Neighborhood Business
 - B-2 - Retail and Commercial Business
 - B-3 - Central Business
 - B-4 - Private Club
 - CTS - City, Tarleton, School
 - DT - Downtown
 - IND - Industrial
 - PD - Planned Development
 - R-1 - Single Family - 7,500
 - R-1.5 - Single Family - 6,000
 - R-2 - One and Two Family
 - R-2.5 - Integrated Housing
 - R-3 - Multiple Family
 - RE - Single Family - 1 Acre



The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

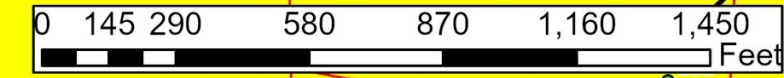
Parcel ID R78345

Future Land Use - Commercial

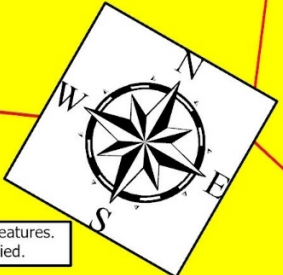


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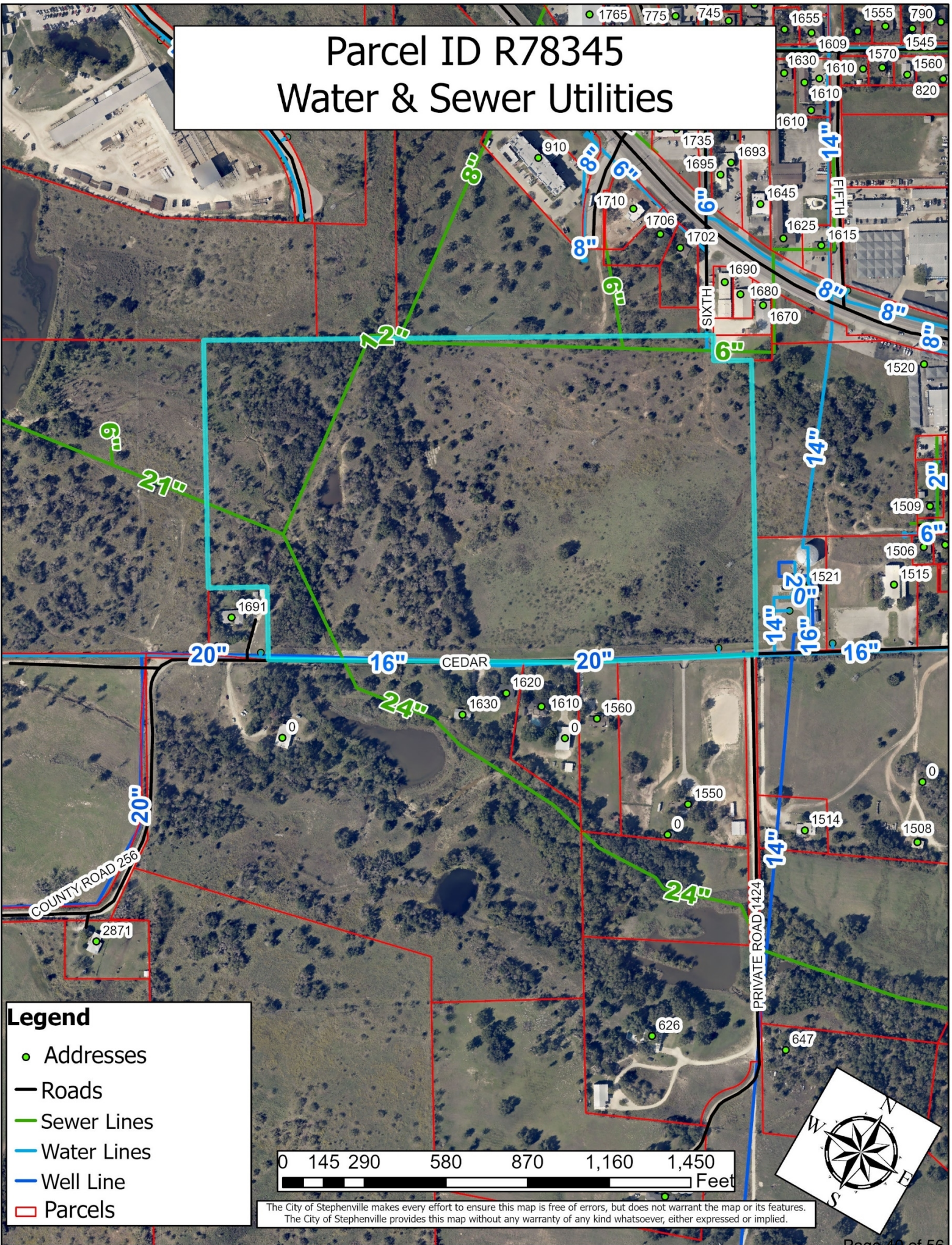
- Addresses
- Roads
- Land Use
 - Ag/Open Space
 - Office/Neighbor_Bus
 - Commercial
 - Cent Business Dist
 - City/Tarleton/SISD
 - Downtown
 - Industrial
 - Planned Development
 - Single Family
 - 1_2 Family
 - Multi-Fam/Resident
 - Duplex/Townhome
 - Manufact Homes
- ▭ Parcels



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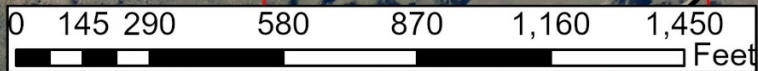


Parcel ID R78345 Water & Sewer Utilities



Legend

- Addresses
- Roads
- Sewer Lines
- Water Lines
- Well Line
- Parcels



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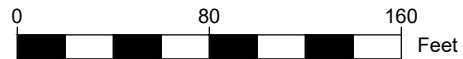
Parcel R000078345

200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000033775	1520 W SOUTH LOOP	2012 GBAT BMI PROPERTIES, LLC	128 GREENBRIAR	STEPHENVILLE	TX	76401
R000019805	1520 W SOUTH LOOP	2012 GBAT BMI PROPERTIES, LLC	128 GREENBRIAR	STEPHENVILLE	TX	76401
R000033760	0 GROESBECK	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000019809	626 PR1424 OFF CR256	CAGLE ERIC BRANDT	624 PR1424	STEPHENVILLE	TX	76401
R000067061	1521 W CEDAR ST	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000019793	1620 W CEDAR ST	COLLIER NATHAN & KRISTIN	997 N LYDIA	STEPHENVILLE	TX	76401
R000033753	1702 W SOUTH LOOP	HAMPTON BARBARA REVOCABLE LIFE ESTATE	1702 W SOUTH LOOP	STEPHENVILLE	TX	76401
R000062473	1610 W CEDAR ST	HOWELL KENNETH & DERECE	1610 W CEDAR ST	STEPHENVILLE	TX	76401
R000072198	0 SOUTH LOOP (OFF)	KARNES DANNY	1670 SOUTH LOOP	STEPHENVILLE	TX	76401-0000
R000033772	1670 W SOUTH LOOP	KARNES DANNY	1670 SOUTH LOOP	STEPHENVILLE	TX	76401-0000
R000033773	1690 W SOUTH LOOP	KARNES DANNY & JANA	1670 S LOOP	STEPHENVILLE	TX	76401
R000019789	0 CR256	LEE J RALPH & LINDA	PO BOX 24	HAMILTON	TX	76531
R000071064	0 CR256	LEE J RALPH & LINDA	PO BOX 24	HAMILTON	TX	76531
R000019817	1550 W CEDAR ST	MICK KEVIN	22210 CLAIBOURNE LANE	SANTA CLARITA	CA	91350
R000064287	1691 W CEDAR ST	PEEK CAROLYN J	1691 W CEDAR	STEPHENVILLE	TX	76401
R000078345	0 W CEDAR ST	ROCK CREEK PROPERTY NO 1, LLC	6110 N FM219	DUBLIN	TX	76446
R000019806	1508 W CEDAR ST	SHUFFIELD JEANNE W TRUST	1469 MELISSA	STEPHENVILLE	TX	76401-0000
R000033774	1680 W SOUTH LOOP	SMOLA JAMES	1680 S LOOP	STEPHENVILLE	TX	76401-0000
R000071065	1900 GROESBECK	V84 HOLDINGS LLC	PO BOX 1827	STEPHENVILLE	TX	76401
R000019819	1560 W CEDAR ST	WIGGINS WANDA J (LIFE ESTATE)	1610 W CEDAR	STEPHENVILLE	TX	76401

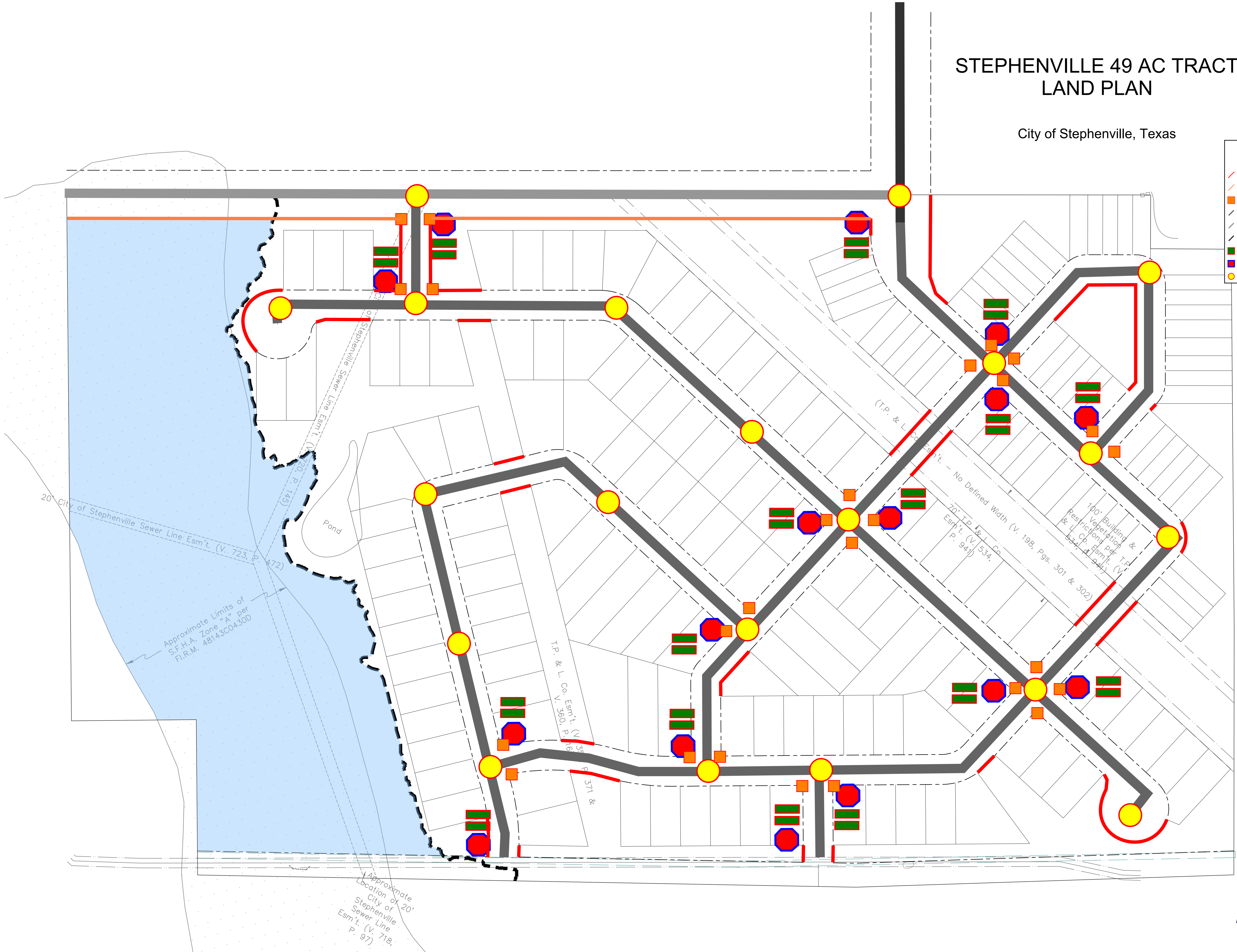
STEPHENVILLE 49 AC TRACT LAND PLAN

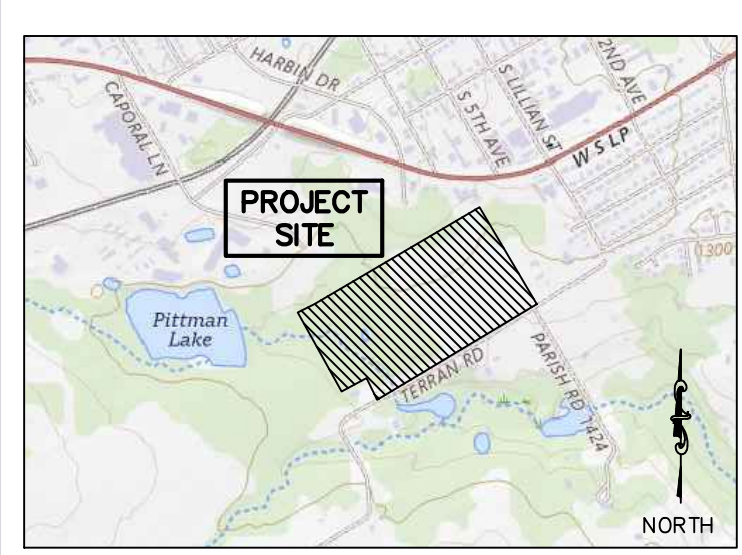
City of Stephenville, Texas



Stephenville 49 AC - Paving

Description	Quantity	Unit
4' Developer Sidewalk	2,446.95	ft
6' Developer Sidewalk	1,292.80	ft
BFR	26	Count
CONCRETE PAVEMENT 50' ROW (31' B-B)	7,036.13	ft
CONCRETE PAVEMENT 80' ROW - OFFSITE - HALF ROW	1,395.91	ft
CONCRETE PAVEMENT 80' ROW - OFFSITE	368.26	ft
Street Name Blade	32	Count
STOP SIGN	16	Count
STREET LIGHT	20	Count

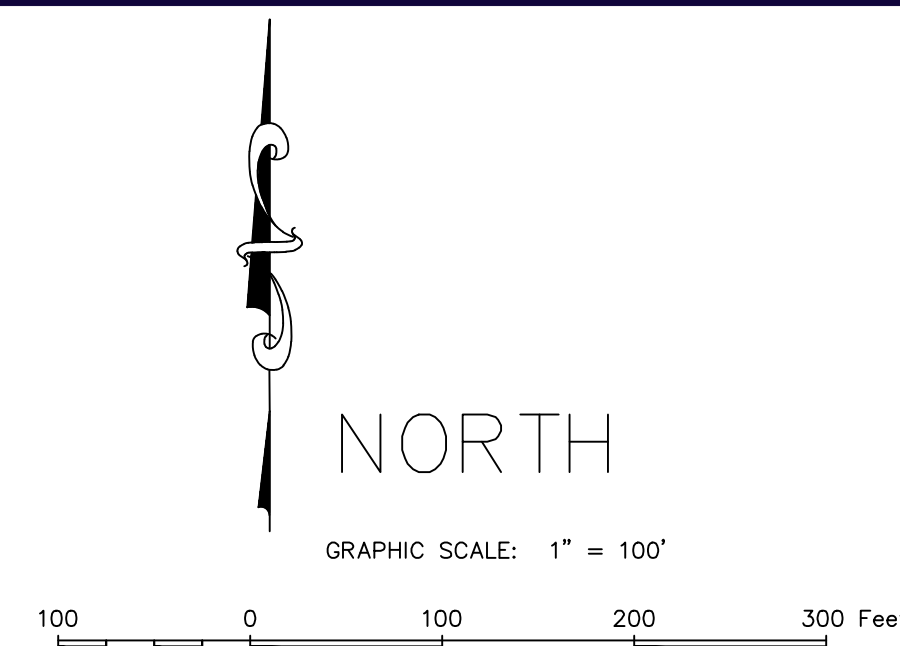




CITY OF STEPHENVILLE, ERATH COUNTY, TEXAS
VICINITY MAP
NOT TO SCALE

TEMPORARY BENCHMARK #1 ELEVATION - 1280.38'
BEING AN X-CUT SET ON THE NORTHWEST EDGE OF THE CONCRETE BRIDGE LOCATED ON WEST CEDAR STREET, SAID POINT BEING ±20.3 FEET NORTHEAST OF THE WEST CORNER OF SAID BRIDGE AND ±16.5 FEET EAST OF A WATER METER.

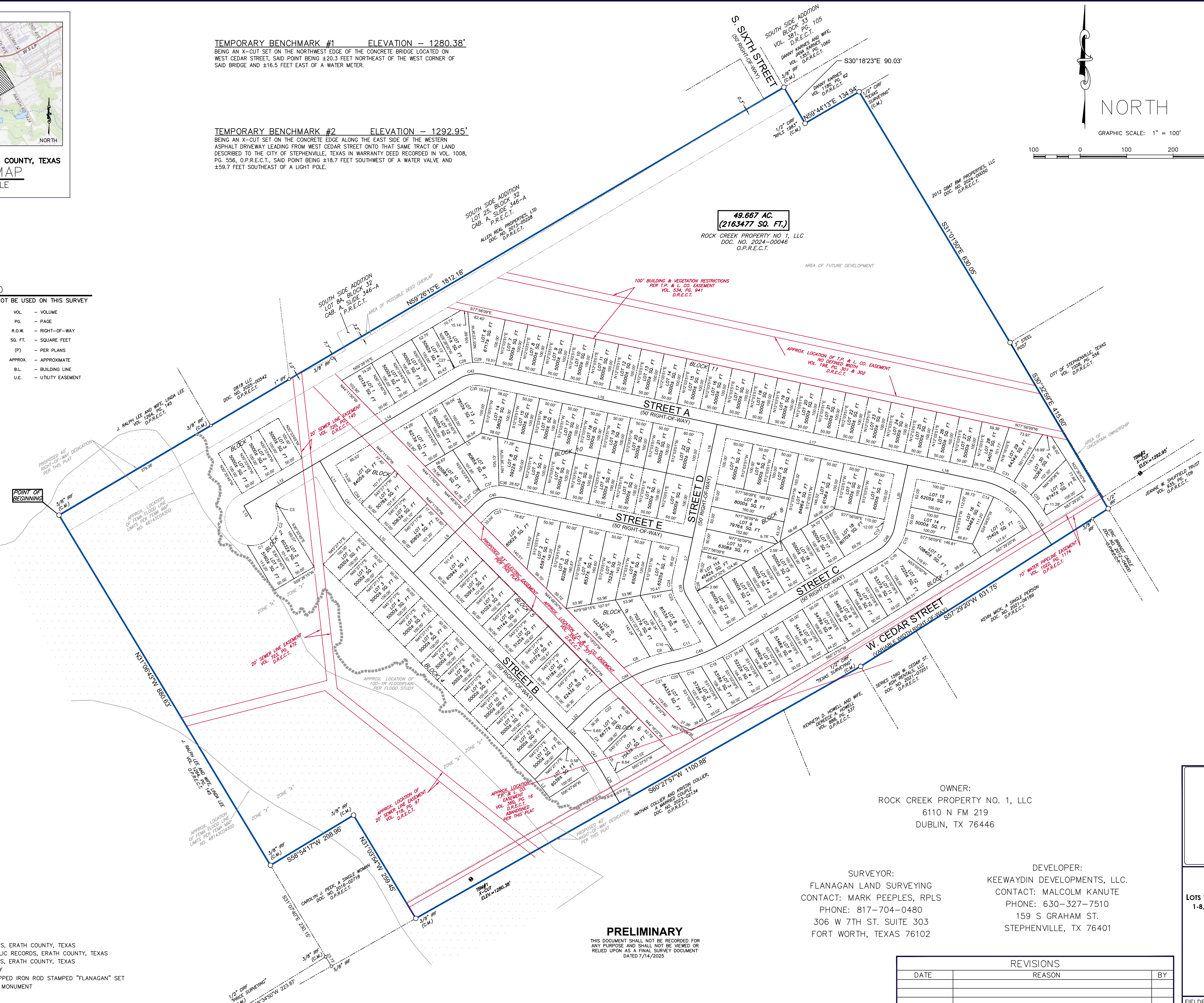
TEMPORARY BENCHMARK #2 ELEVATION - 1292.95'
BEING AN X-CUT SET ON THE CONCRETE EDGE ALONG THE EAST SIDE OF THE WESTERN ASPHALT DRIVEWAY LEADING FROM WEST CEDAR STREET ONTO THAT SAME TRACT OF LAND DESCRIBED TO THE CITY OF STEPHENVILLE, TEXAS IN WARRANTY DEED RECORDED IN VOL. 1008, PG. 556, O.P.R.E.C.T., SAID POINT BEING ±18.7 FEET SOUTHWEST OF A WATER VALVE AND ±59.7 FEET SOUTHEAST OF A LIGHT POLE.



- LEGEND**
* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY
- UG - UNDERGROUND
 - PG - FOUND
 - MNF - MAG NAIL FOUND
 - IPF - IRON PIPE FOUND
 - IRF - IRON ROD FOUND
 - XF - "X" CUT FOUND
 - DOC - DOCUMENT
 - NO. - NUMBER
 - VOL. - VOLUME
 - PG. - PAGE
 - R.O.W. - RIGHT-OF-WAY
 - SQ. FT. - SQUARE FEET
 - (P) - PER PLANS
 - APPROX. - APPROXIMATE
 - B.L. - BUILDING LINE
 - U.E. - UTILITY EASEMENT

Line #	Bearing	Distance
L1	N44°32'43"W	14.90'
L3	S57°29'20"W	5.81'
L4	S32°30'40"E	32.65'
L5	S59°26'15"W	70.71'
L6	N31°02'28"W	126.95'
L7	N12°03'51"E	91.02'
L8	N77°56'09"W	413.62'
L9	S45°27'17"W	212.47'
L10	N44°32'43"W	199.90'
L11	N30°33'45"W	98.26'
L12	S59°26'15"W	190.00'
L13	S30°33'45"E	32.50'
L14	N59°26'15"E	348.37'
L15	S77°56'09"E	512.53'
L16	S12°03'51"W	250.00'
L17	N77°56'09"W	420.00'
L18	N77°56'09"W	163.73'
L19	N32°30'40"W	71.28'
L20	N12°03'51"E	137.05'
L21	N58°57'32"E	381.58'
L22	N45°27'17"E	61.36'
L23	S44°32'43"E	470.00'
L24	S44°32'43"E	30.65'
L25	S29°32'03"E	68.64'

- LEGEND OF ABBREVIATIONS**
- D.R.E.C.T. DEED RECORDS, ERATH COUNTY, TEXAS
 - O.P.R.E.C.T. OFFICIAL PUBLIC RECORDS, ERATH COUNTY, TEXAS
 - P.R.E.C.T. PLAT RECORDS, ERATH COUNTY, TEXAS
 - ROW RIGHT OF WAY
 - IRS 1/2 INCH CAPPED IRON ROD STAMPED "FLANAGAN" SET
 - C.M. CONTROLLING MONUMENT



Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	53.21'	57.50'	053°01'29"	S72°31'59"W	51.34'
C2	67.54'	57.50'	067°18'05"	N12°22'12"E	63.72'
C3	13.83'	20.00'	039°38'02"	N01°27'50"W	13.56'
C4	60.74'	400.00'	008°41'59"	N40°11'43"W	60.68'
C5	44.06'	400.00'	006°18'41"	N32°41'24"W	44.04'
C7	65.86'	400.00'	009°26'01"	N50°10'18"E	65.78'
C8	61.40'	400.00'	008°47'42"	S67°05'07"W	61.34'
C9	45.63'	400.00'	006°32'12"	N74°45'04"E	45.61'
C10	6.45'	350.00'	010°03'19"	N77°29'30"E	6.45'
C11	61.65'	350.00'	010°05'31"	N71°55'05"E	61.57'
C12	40.92'	50.00'	046°53'40"	S35°30'42"W	39.79'
C13	87.46'	150.00'	033°24'23"	S49°12'52"E	86.22'
C14	31.46'	150.00'	012°01'05"	S71°55'36"E	31.41'
C15	43.35'	100.00'	024°50'19"	N24°29'01"E	43.01'
C16	38.50'	100.00'	022°03'22"	S47°55'51"W	38.26'
C17	24.54'	400.00'	003°30'54"	N60°42'59"E	24.54'
C18	50.42'	400.00'	007°13'21"	N66°05'07"E	50.39'
C19	51.67'	400.00'	007°24'02"	N73°23'48"E	51.63'
C20	78.30'	350.00'	012°49'04"	N71°36'38"E	78.14'
C21	78.30'	350.00'	012°49'04"	N71°36'38"E	78.14'
C22	65.71'	350.00'	010°45'22"	N50°49'58"E	65.61'
C23	24.70'	25.00'	056°36'34"	S73°45'34"W	23.71'
C24	28.21'	75.00'	021°33'10"	N01°17'17"E	28.05'
C25	28.21'	75.00'	021°33'10"	N20°15'53"W	28.05'
C26	18.81'	25.00'	043°06'20"	S09°29'18"E	18.37'
C27	3.66'	100.00'	002°05'45"	N60°29'07"E	3.66'
C28	40.27'	100.00'	023°04'26"	S73°04'13"W	40.00'
C29	30.47'	100.00'	017°27'25"	N86°39'51"W	30.35'
C30	21.64'	200.00'	006°12'00"	N74°49'57"W	21.63'
C31	46.62'	200.00'	013°21'17"	N65°03'18"W	46.51'
C32	46.62'	200.00'	013°21'17"	N51°42'01"W	46.51'
C33	43.67'	200.00'	012°30'42"	N38°46'01"W	43.59'
C34	12.20'	50.00'	013°58'58"	N37°33'14"W	12.17'
C35	37.20'	50.00'	042°37'37"	S80°45'03"W	36.35'
C36	17.93'	75.00'	013°42'02"	S84°47'09"E	17.89'
C37	42.22'	75.00'	032°15'19"	S72°14'10"W	41.67'
C38	13.95'	75.00'	010°39'14"	N50°46'54"E	13.93'
C39	37.62'	50.00'	043°06'20"	N09°29'18"W	36.74'
C40	49.40'	50.00'	056°36'34"	S73°45'34"W	47.42'
C41	18.30'	75.00'	013°58'58"	N37°33'14"W	18.26'
C42	55.80'	75.00'	042°37'37"	N80°45'03"E	54.52'
C43	138.74'	175.00'	045°25'28"	N55°13'24"W	135.14'
C44	213.13'	375.00'	032°33'52"	N61°44'13"E	210.28'
C45	124.75'	375.00'	019°03'38"	N68°29'21"E	124.18'
C46	61.38'	75.00'	046°53'40"	N35°30'42"E	59.69'
C47	98.25'	375.00'	015°00'40"	S37°02'23"E	97.97'

OWNER:
ROCK CREEK PROPERTY NO. 1, LLC
6110 N FM 219
DUBLIN, TX 76446

SURVEYOR:
FLANAGAN LAND SURVEYING
CONTACT: MARK PEEPLES, RPLS
PHONE: 817-704-0480
306 W 7TH ST. SUITE 303
FORT WORTH, TEXAS 76102

DEVELOPER:
KEEWAYDIN DEVELOPMENTS, LLC.
CONTACT: MALCOLM KANUTE
PHONE: 630-327-7510
159 S GRAHAM ST.
STEPHENVILLE, TX 76401

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT DATED 7/14/2025

DATE	REASON	BY



PRELIMINARY PLAT OF CEDAR PARISH SUBDIVISION
LOTS 1-3, BLOCK 1; LOTS 1-2, BLOCK 2; LOTS 1-4, BLOCK 3; LOTS 1-14, BLOCK 4; LOTS 1-8, BLOCK 5; LOTS 1-2, BLOCK 6; LOTS 1-17, BLOCK 7; LOTS 1-18, BLOCK 8; LOTS 1-10, BLOCK 9; LOTS 1-22, BLOCK 10; LOTS 1-31, BLOCK 11 & LOT 11X, BLOCK 8
49.667 ACRES
SITUATED IN THE H.C. HUDSON SURVEY ABSTRACT NO. 342 ERATH COUNTY, TEXAS
131 LOTS

FIELD BY: BW	CHECKED BY: MNP	JOB NO. 6079
DRAWN BY: NCR	DATE: 07/11/25	SHEET NO. 1 OF 2

PROPERTY DESCRIPTION:

BEING A 49.667 ACRE TRACT OF LAND SITUATED IN THE H.C. HUDSON SURVEY, ABSTRACT NO. 342, IN THE CITY OF STEPHENVILLE, ERATH COUNTY, TEXAS, AND BEING THAT SAME TRACT OF LAND DESCRIBED TO ROCK CREEK PROPERTY NO 1, LLC IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER (DOC. NO.) 2024-00046, OFFICIAL PUBLIC RECORDS, ERATH COUNTY, TEXAS (O.P.R.E.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 3/8-INCH IRON ROD FOUND FOR THE WEST CORNER OF THAT SAME TRACT OF LAND DESCRIBED TO DB & CB INVESTMENTS, LTD. IN TRACT TWO OF GENERAL WARRANTY DEED RECORDED IN DOC. NO. 2012-06686, O.P.R.E.C.T., SAID POINT BEING AN INTERIOR ELL CORNER OF THAT SAME TRACT OF LAND DESCRIBED TO J. RALPH LEE AND WIFE, LINDA LEE IN GENERAL WARRANTY DEED RECORDED IN VOLUME (VOL.) 1264, PAGE (PG.) 145, O.P.R.E.C.T., SAID CORNER BEING THE WEST CORNER OF SAID ROCK CREEK TRACT;

THENCE NORTH 59 DEGREES 26 MINUTES 15 SECONDS EAST WITH THE SOUTHEAST LINE OF SAID J. RALPH LEE TRACT AND THE NORTHWEST LINE OF SAID DB & CB INVESTMENTS TRACT, PASSING AT A DISTANCE OF 379.38 FEET A 3/8-INCH IRON ROD FOUND FOR THE EAST CORNER OF SAID J. RALPH LEE TRACT, AND CONTINUING WITH THE NORTHWEST LINE OF SAID DB & CB INVESTMENTS TRACT, FOR A TOTAL DISTANCE OF 1812.18 FEET TO A 3/8-INCH IRON ROD FOUND FOR THE NORTHERMOST WEST CORNER OF SAID ROCK CREEK TRACT, SAID POINT BEING THE WEST CORNER OF THAT SAME TRACT OF LAND DESCRIBED TO DANNY KARNES IN GENERAL WARRANTY DEED RECORDED IN VOL. 1180, PG. 62, O.P.R.E.C.T., THE SOUTH CORNER OF BLOCK 33, SOUTH SIDE ADDITION, AN ADDITION TO THE CITY OF STEPHENVILLE, ERATH COUNTY, TEXAS, ACCORDING TO THE 1956 KINGS MAP THEREOF, RECORDED IN VOL. 381, PG. 105, DEED RECORDS, ERATH COUNTY, TEXAS (D.R.E.C.T.), AND LYING ON THE NORTHEAST RIGHT-OF-WAY LINE OF SOUTH SIXTH STREET (A 50' PUBLIC RIGHT-OF-WAY);

THENCE, SOUTH 30 DEGREES 18 MINUTES 23 SECONDS EAST, DEPARTING THE NORTHWEST LINE OF SAID DB & CB INVESTMENTS TRACT, WITH THE SOUTHWEST LINE OF SAID DANNY KARNES TRACT, A DISTANCE OF 90.03 FEET TO A 1/2-INCH IRON ROD WITH CAP STAMPED "RPLS 1983" FOUND FOR AN INTERIOR ELL CORNER OF SAID ROCK CREEK TRACT, SAID POINT BEING THE SOUTH CORNER OF SAID DANNY KARNES TRACT;

THENCE NORTH 59 DEGREES 44 MINUTES 13 SECONDS EAST, WITH THE SOUTHEAST LINE OF SAID DANNY KARNES TRACT, A DISTANCE OF 134.94 FEET TO A 1/2-INCH IRON ROD WITH CAP STAMPED "TEXAS SURVEYING" FOUND FOR THE EASTERNMOST NORTH CORNER OF SAID ROCK CREEK TRACT, SAID POINT BEING THE WEST CORNER OF THAT SAME TRACT OF LAND DESCRIBED TO 2012 GBAT BMI PROPERTIES, LLC IN TRACT ONE OF GENERAL WARRANTY DEED RECORDED IN DOC. NO. 2024-00050, O.P.R.E.C.T.;

THENCE SOUTH 31 DEGREES 01 MINUTES 50 SECONDS EAST, WITH THE SOUTHWEST LINE OF SAID 2012 GBAT BMI PROPERTIES TRACT, A DISTANCE OF 630.05 FEET TO A 3" STEEL POST FOUND FOR THE SOUTH CORNER OF SAID 2012 GBAT BMI PROPERTIES TRACT, SAID POINT BEING THE WEST CORNER OF THAT SAME TRACT OF LAND DESCRIBED TO THE CITY OF STEPHENVILLE, TEXAS IN WARRANTY DEED RECORDED IN VOL. 1008, PG. 556, O.P.R.E.C.T.;

THENCE SOUTH 30 DEGREES 32 MINUTES 59 SECONDS EAST, WITH THE NORTHEAST LINE OF SAID ROCK CREEK TRACT, A DISTANCE OF 415.60 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE EAST CORNER OF SAID ROCK CREEK TRACT, SAID POINT LYING IN THE CENTERLINE OF WEST CEDAR STREET;

THENCE SOUTH 57 DEGREES 29 MINUTES 20 SECONDS WEST, WITH THE SOUTHEAST LINE OF SAID DB & CB INVESTMENTS TRACT, ALONG THE CENTERLINE OF SAID WEST CEDAR STREET, A DISTANCE OF 631.75 FEET TO A 1/2-INCH IRON ROD WITH CAP STAMPED "TEXAS SURVEYING" FOUND LYING IN THE CENTERLINE OF SAID WEST CEDAR STREET;

THENCE SOUTH 60 DEGREES 27 MINUTES 57 SECONDS, CONTINUING WITH THE SOUTHEAST LINE OF SAID DB & CB INVESTMENTS TRACT, ALONG THE CENTERLINE OF SAID WEST CEDAR STREET, A DISTANCE OF 1100.88 FEET TO A 3/8-INCH IRON ROD FOUND FOR THE SOUTH CORNER OF SAID ROCK CREEK TRACT, SAID POINT BEING THE EAST CORNER OF THAT SAME TRACT OF LAND DESCRIBED TO CAROLYN J. PEEK IN DOC. NO. 2016-02718, O.P.R.E.C.T.;

THENCE NORTH 31 DEGREES 03 MINUTES 54 SECONDS WEST, DEPARTING THE SOUTHEAST LINE OF SAID DB & CB INVESTMENTS TRACT AND THE CENTERLINE OF SAID WEST CEDAR ROAD, WITH THE NORTHEAST LINE OF SAID CAROLYN J. PEEK TRACT, A DISTANCE OF 259.45 FEET TO A 3/8-INCH IRON ROD FOUND FOR AN INTERIOR ELL CORNER OF SAID ROCK CREEK TRACT, SAID POINT BEING THE NORTH CORNER OF SAID CAROLYN J. PEEK TRACT;

THENCE SOUTH 58 DEGREES 54 MINUTES 17 SECONDS WEST, WITH THE NORTHWEST LINE OF SAID CAROLYN J. PEEK TRACT, A DISTANCE OF 208.96 FEET TO A 3/8-INCH IRON ROD FOUND FOR THE WESTERNMOST SOUTH CORNER OF SAID ROCK CREEK TRACT, SAID POINT BEING THE WEST CORNER OF SAID CAROLYN J. PEEK TRACT AND LYING ON THE NORTHEAST LINE OF SAID J. RALPH LEE TRACT;

THENCE NORTH 31 DEGREES 06 MINUTES 43 SECONDS WEST, WITH THE NORTHEAST LINE OF SAID J. RALPH LEE TRACT, A DISTANCE OF 880.63 FEET TO THE POINT OF BEGINNING AND CONTAINING 2,163,477 SQUARE FEET OR 49.667 ACRES OF LAND, MORE OR LESS.

SURVEYOR'S NOTES:

1. BEARINGS AND DISTANCES ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202) NORTH AMERICAN DATUM OF 1983 (NAD 83)(US FOOT) WITH A COMBINED SCALE FACTOR OF 1.000060.
2. SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ERATH COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48143C0430D, COMMUNITY-PANEL NO. 4802200430D, EFFECTIVE DATE: NOVEMBER, 16 2011. PART OF THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN ZONE X AND PART OF THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN ZONE A ON SAID MAP. THE LOCATION OF THE SAID FLOODZONES IS BASED ON SAID MAP, IS APPROXIMATE AND IS NOT LOCATED ON THE GROUND. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:

ZONE "X" - OTHER AREAS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ZONE "A" - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD: BASE FLOOD ELEVATIONS UNDETERMINED.
3. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (US FOOT) USING THE ALTERRA CENTRAL RTK COOPERATIVE NETWORK. OBSERVATIONS WERE MADE ON 06/01/25.
4. MONUMENTS ARE FOUND UNLESS SPECIFICALLY DESIGNATED AS SET.

GENERAL NOTES:

1. THE MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE PROVIDED WHEN A BUILDING PERMIT APPLICATION IS SUBMITTED. THE MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE BASED ON THE CURRENT FEMA DATA. THE MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE STATED AS MEAN SEA LEVEL.

OWNER'S DEDICATION:

STATE OF TEXAS §
COUNTY OF _____ §
CITY OF _____ §

THAT I, ROCK CREEK PROPERTY NO. 1, LLC, BEING THE OWNER OF THE HEREINAFTER DESCRIBED PROPERTY DO HEREBY ADOPT THIS MAP AS CORRECTLY REPRESENTING OUR PLAN TO CONVEY THE HEREIN DESCRIBED PROPERTY AND DO DESIGNATE SAME AS LOT 1, BLOCK 1, LONE OAK ADDITION, AND DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER, THE EASEMENTS AND RIGHTS-OF-WAY SHOWN HEREON.

EXECUTED THIS _____ DAY OF _____ 2024.

BY: ROCK CREEK PROPERTY NO. 1, LLC

SIGNATURE

NAME AND TITLE

STATE OF TEXAS §
COUNTY OF _____ §
CITY OF _____ §

BEFORE ME, NOTARY IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____ 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

COMMISSION EXPIRATION: _____

SURVEYOR'S CERTIFICATE:

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON AND IS CORRECT, AND TO THE BEST OF MY KNOWLEDGE, THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHTS OF WAY THAT I HAVE BEEN ADVISED OF EXCEPT AS SHOWN HEREON.

DATE OF PLAT OR MAP: _____

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT DATED 7/14/2025

MARK N. PEEPLES
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6443
STATE OF TEXAS

STATE OF TEXAS §
COUNTY OF _____ §
CITY OF _____ §

BEFORE ME, NOTARY IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____ 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


COMMISSION EXPIRATION: _____

OWNER:
ROCK CREEK PROPERTY NO. 1, LLC
6110 N FM 219
DUBLIN, TX 76446

SURVEYOR:
FLANAGAN LAND SURVEYING
CONTACT: MARK PEEPLES, RPLS
PHONE: 817-704-0480
306 W 7TH ST, SUITE 303
FORT WORTH, TEXAS 76102

DEVELOPER:
KEEWAYDIN DEVELOPMENTS, LLC.
CONTACT: MALCOLM KANUTE
PHONE: 630-327-7510
159 S GRAHAM ST.
STEPHENVILLE, TX 76401

REVISIONS		
DATE	REASON	BY

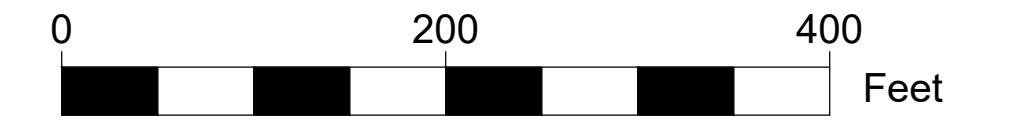


Fort Worth, Texas | P:817.704.0480 | flanagan-ls.com | TBPELS Firm No. 10194766
Contact: Mark Peeples, R.P.L.S.

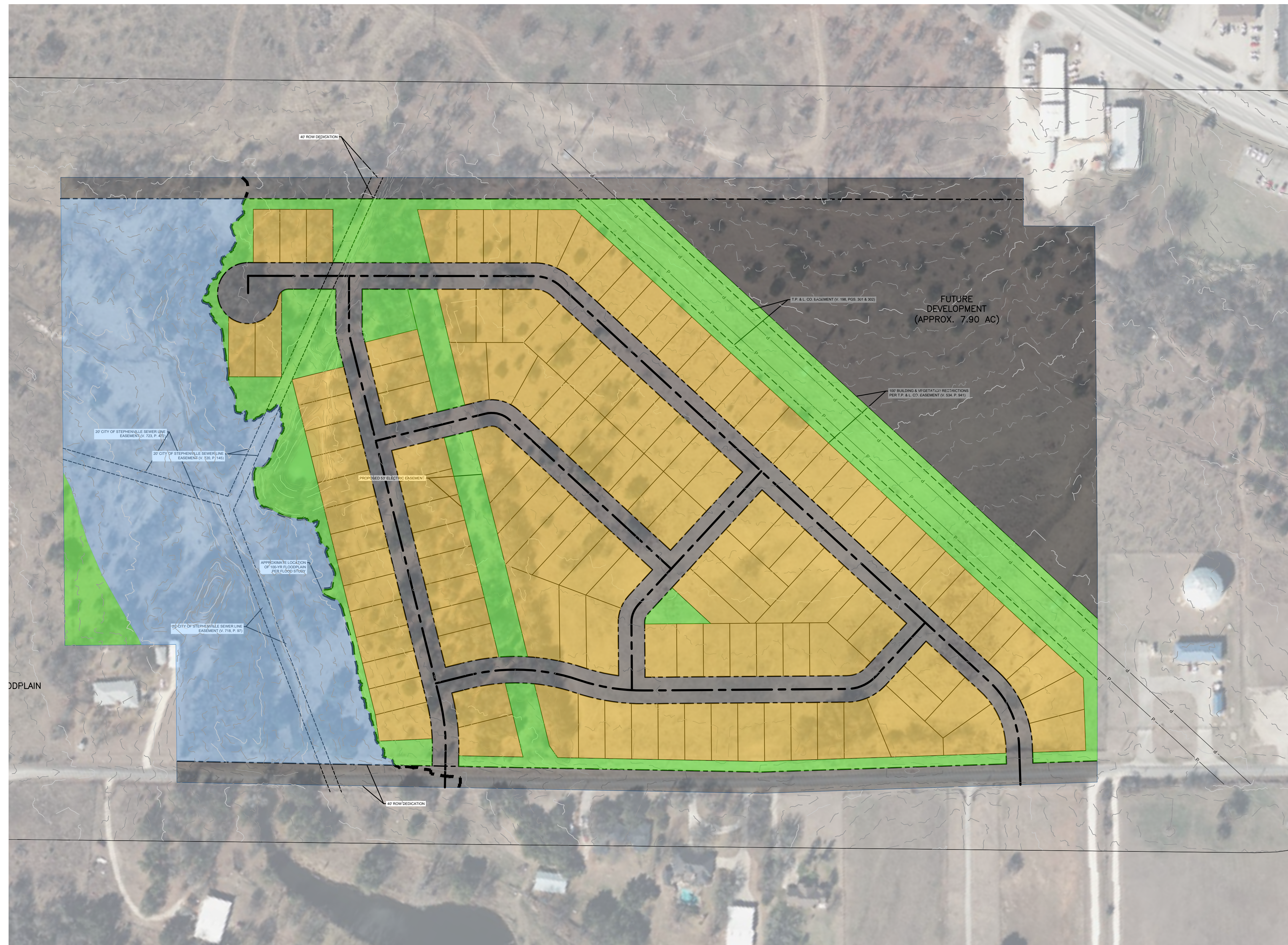
**PRELIMINARY PLAT OF
CEDAR PARISH SUBDIVISION**

LOTS 1-3, BLOCK 1; LOTS 1-2, BLOCK 2; LOTS 1-4, BLOCK 3; LOTS 1-14, BLOCK 4; LOTS 1-8, BLOCK 5; LOTS 1-2, BLOCK 6; LOTS 1-17, BLOCK 7; LOTS 1-18, BLOCK 8; LOTS 1-10, BLOCK 9; LOTS 1-22, BLOCK 10; LOTS 1-31, BLOCK 11
& LOT 11X, BLOCK 8
49.667 ACRES
SITUATED IN THE
H.C. HUDSON SURVEY
ABSTRACT NO. 342
ERATH COUNTY, TEXAS
131 LOTS

FIELD BY: BW	CHECKED BY: MNP	JOB NO. 6079
DRAWN BY: NCR	DATE: 07/11/25	SHEET NO. 2 OF 2



LEGEND	USES	UNIT COUNT
	FUTURE DEVELOPMENT	7.90 AC
	SINGLE FAMILY DETACHED (50'X100' TYP)	129
	STREET RIGHT-OF-WAY	7.28 AC
	OPEN SPACE/EASEMENTS	7.84 AC
	WATER FEATURES	9.50 AC
	TOTAL	129





**TARLETON
CROSSINGS**



**TARLETON
CROSSINGS**



homes
CLARK
REAL ESTATE GROUP

TARLETON
CROSSINGS

STAFF REPORT



SUBJECT: Application No.: RZ 9012

Applicant CCS Stephenville Properties, LLC., is requesting the assignment of Industrial Zoning for the recently annexed property located at 0 N US 281, Parcel R76680, being approximately 7.577 acres of the A0804 WILLIAMS M R Survey of the City of Stephenville, Erath County, Texas. With the assignment of zoning, the Commission is requested to recommend extension of the ETJ and subsequent revision of the Stephenville 2050 Comprehensive Plan.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

RECOMMENDATION:

To recommend the City Council assign Industrial Zoning to Parcel R76680.

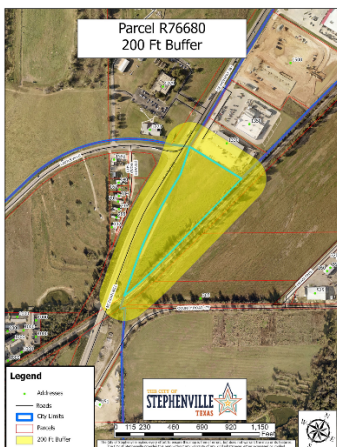
BACKGROUND:

Parcel R76680 was voluntarily annexed on June 3, 2025 by the City Council as authorized by Chapter 43, Sec. 43.0671 of the Local Government Code.

City ordinance Section 154.04.C requires the assignment of zoning within six-months of annexation:

Zoning of Annexed Territory. All territory annexed to the city shall by[be] unzoned until reviewed by the Planning and Zoning Commission and zoned by the City Council to a classification in conformance with the Comprehensive Plan. All territory annexed into the city must be zoned within six months of the date of annexation. No building permit will be issued for unzoned property.

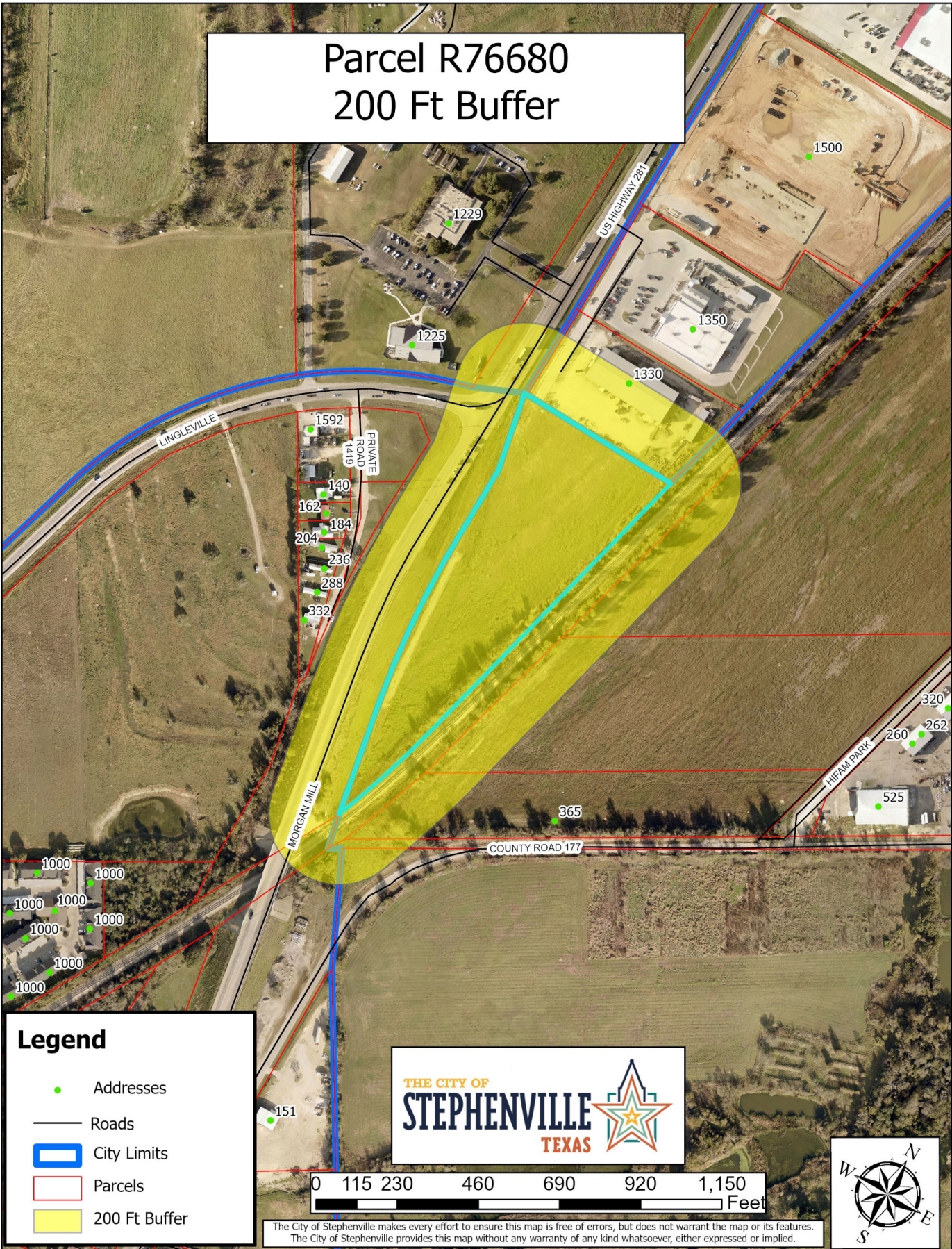
PROPERTY PROFILE:



ALTERNATIVES:

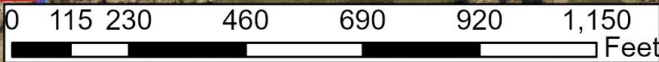
- 1) Recommend the City Council Assign Industrial Zoning and revise City's Comprehensive Plan.
- 2) Recommend Alternative Zoning.

Parcel R76680 200 Ft Buffer



Legend

- Addresses
- Roads
- City Limits
- Parcels
- 200 Ft Buffer

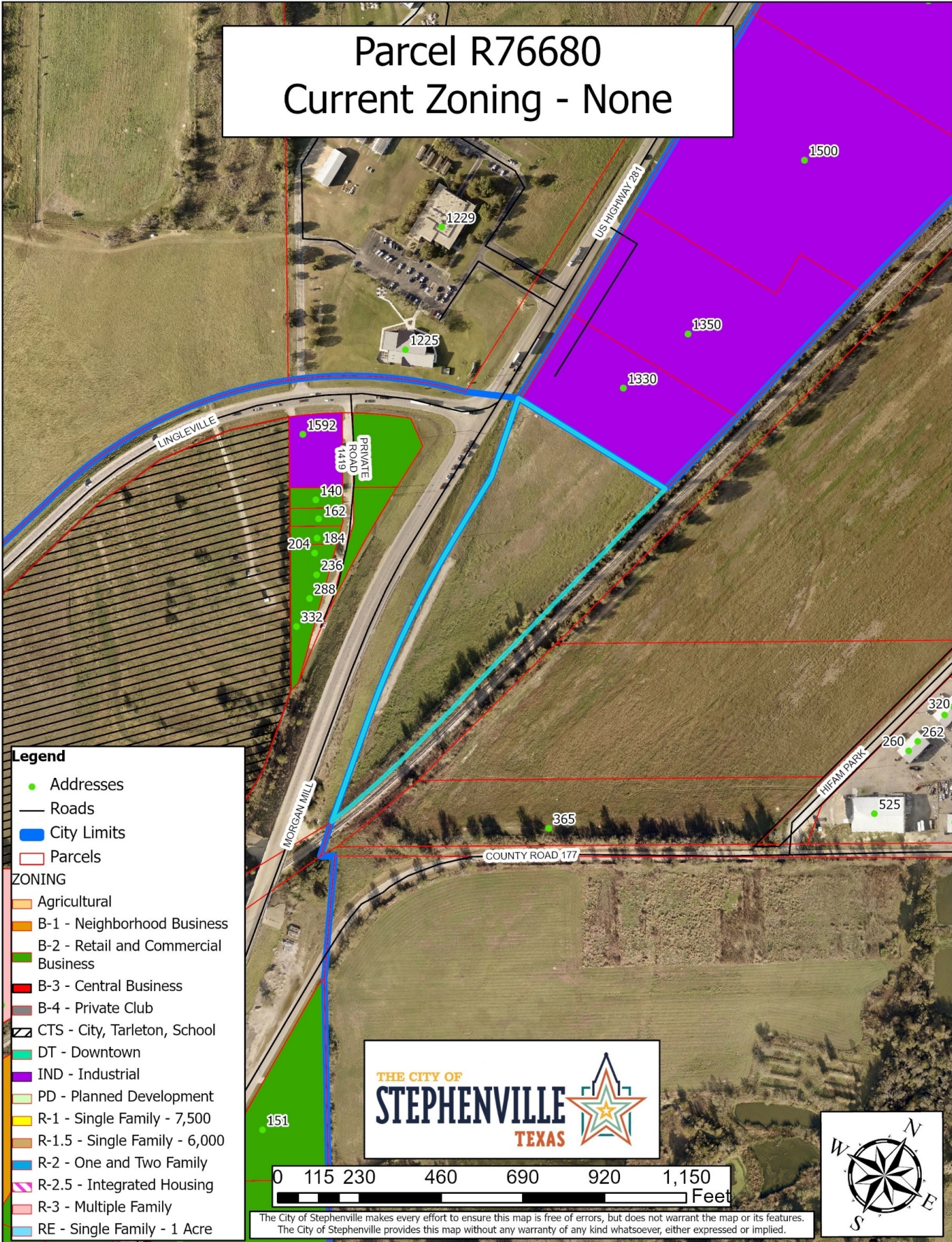


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Parcel R76680

Current Zoning - None

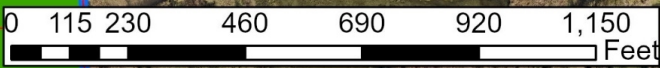


Legend

- Addresses
- Roads
- City Limits
- Parcels

ZONING

- Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre

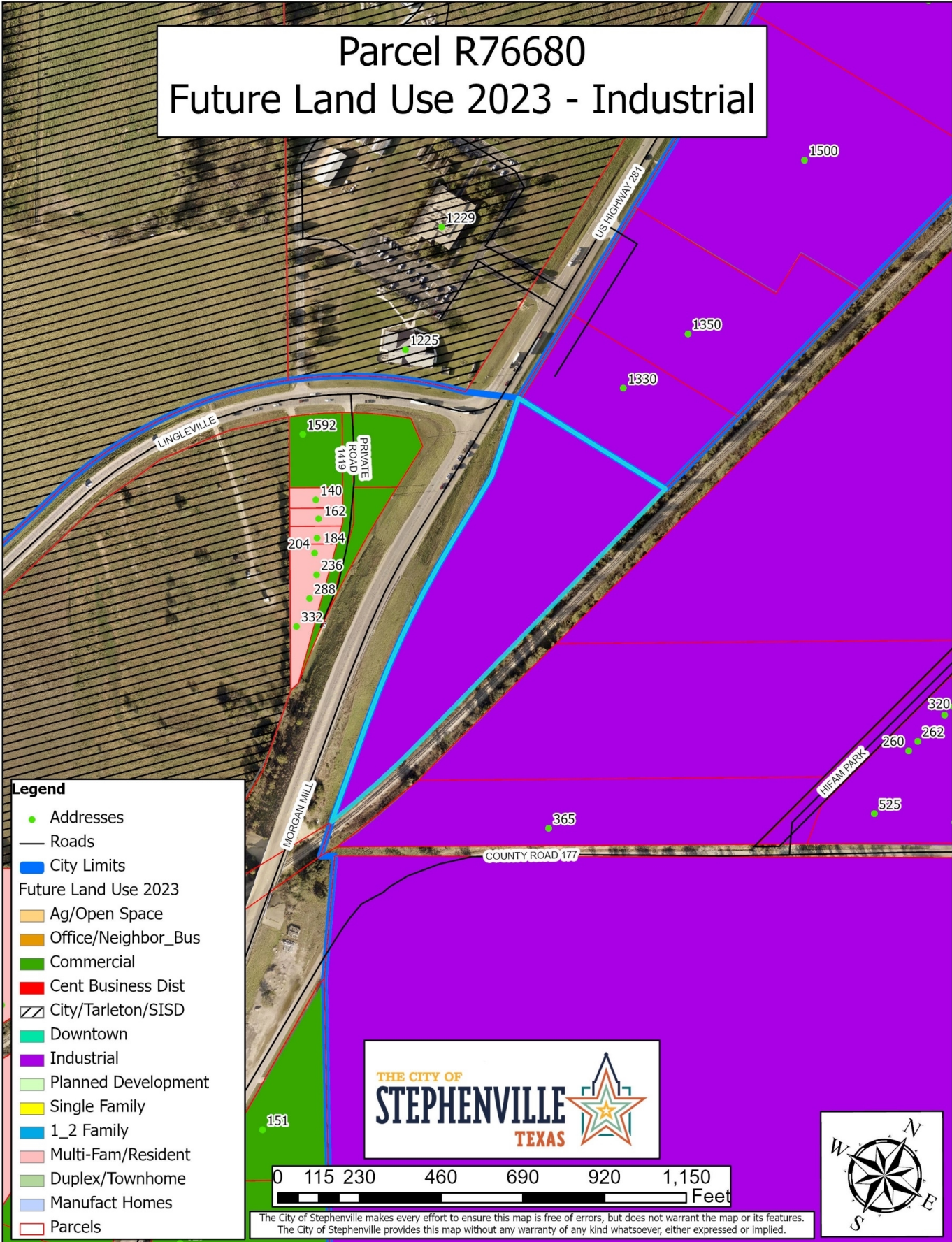


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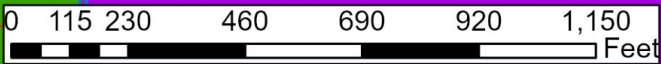
Parcel R76680

Future Land Use 2023 - Industrial



Legend

- Addresses
- Roads
- City Limits
- Future Land Use 2023
- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes
- Parcels

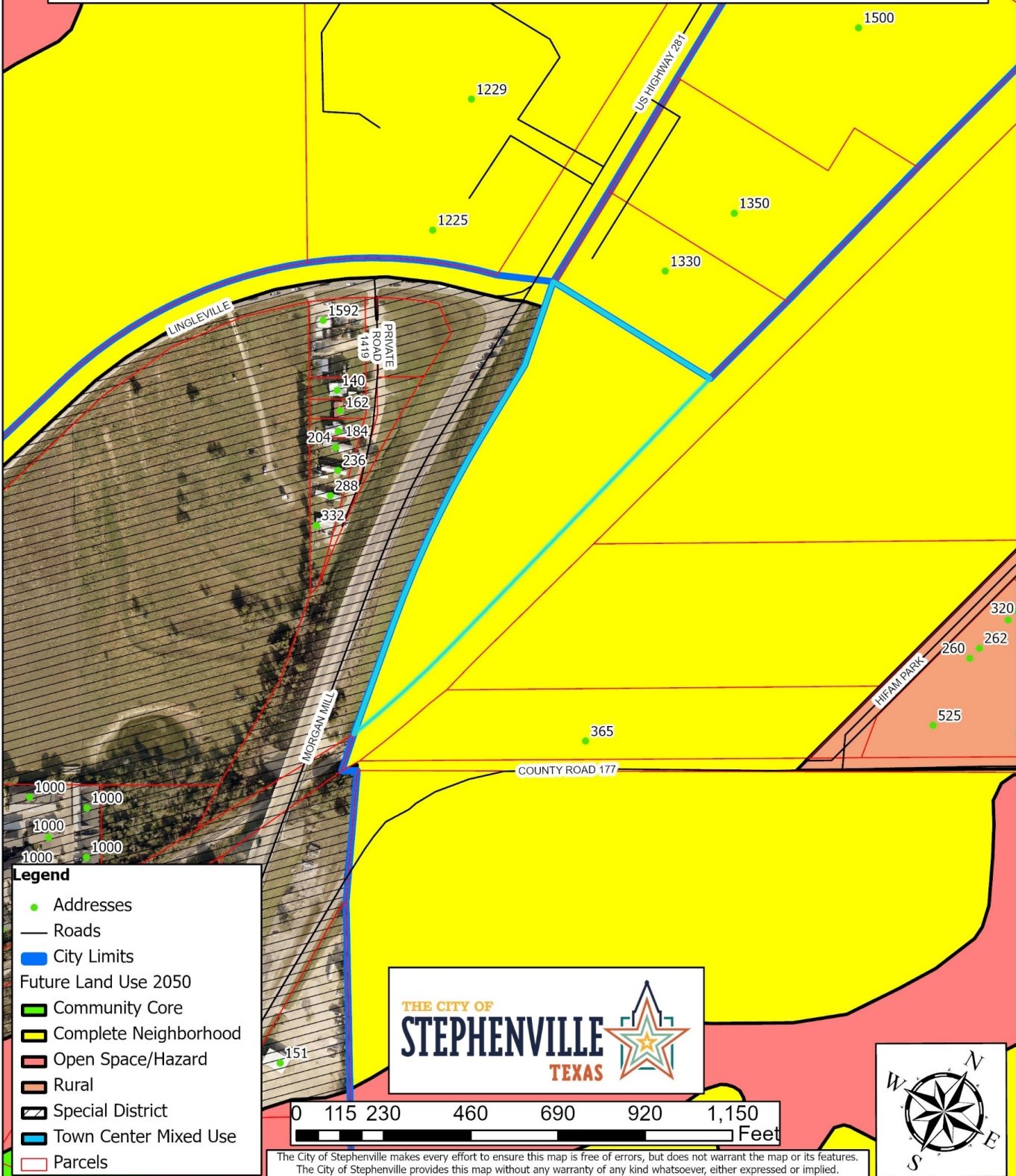


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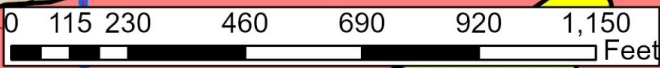
Parcel R76680

Future Land Use 2050 - Complete Neighborhood



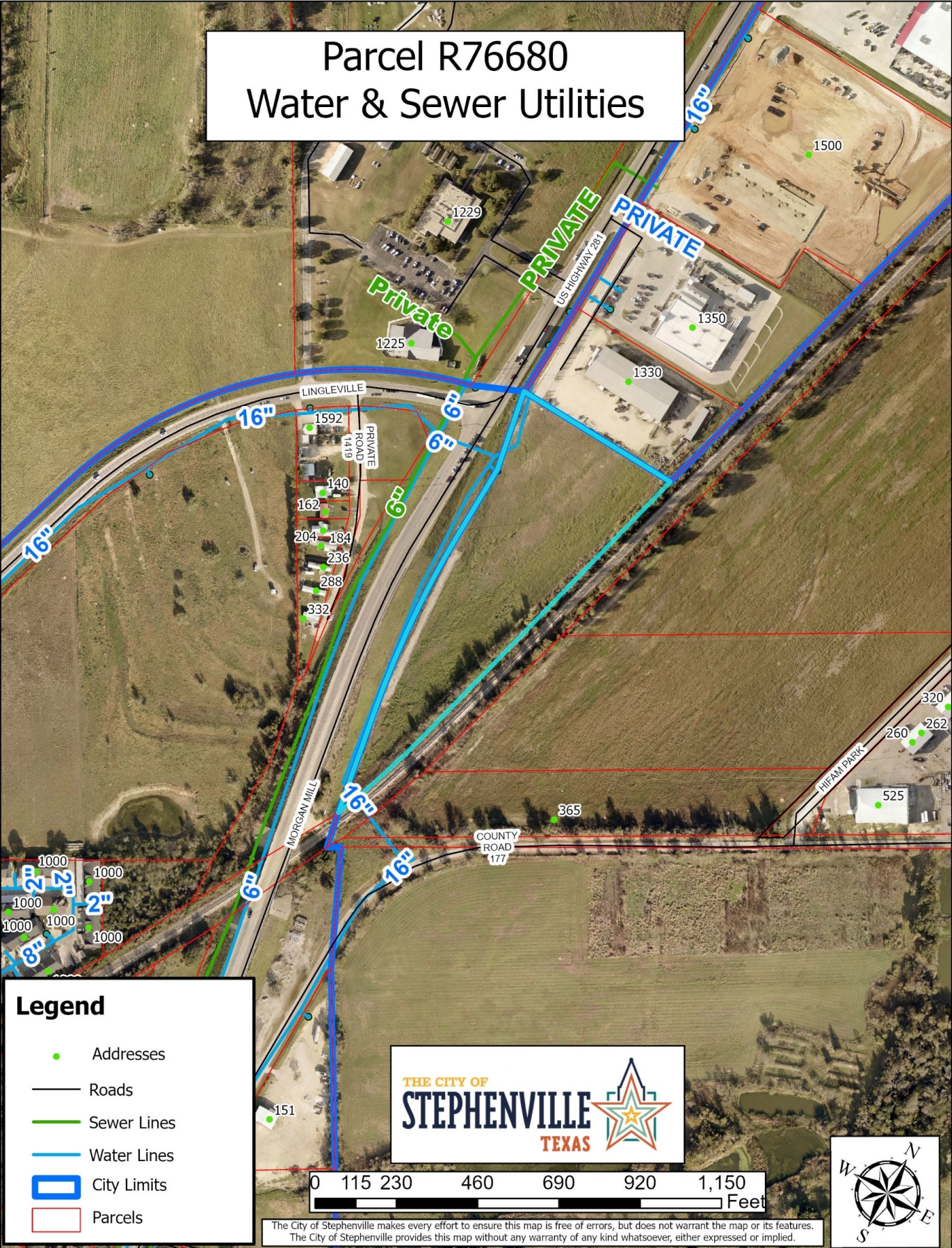
Legend

- Addresses
- Roads
- City Limits
- Future Land Use 2050
- Community Core
- Complete Neighborhood
- Open Space/Hazard
- Rural
- Special District
- Town Center Mixed Use
- Parcels



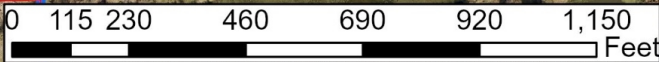
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Parcel R76680 Water & Sewer Utilities



Legend

- Addresses
- Roads
- Sewer Lines
- Water Lines
- City Limits
- Parcels



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Parcel ID R76680

200 Ft Buffer

Address

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000026380	1229 N US281	BOARD OF REGENTS OF THE TX A&M UNIVERSITY SYSTEM	301 TARROW STREET 6TH FLOOR	COLLEGE STATION TX		77840-7896
R000025147	1712 CR177	BOARD OF REGENTS OF THE TX A&M UNIVERSITY SYSTEM	301 TARROW STREET 6TH FLOOR	COLLEGE STATION TX		77840-7896
R000077972	0 HIFAM PARK ROAD	DAVOIL, INC.	6300 RIDGLEA PLACE, SUITE 1200	FORT WORTH TX		76116
R000014966	0 N PADDOCK & VANDERBILT	FORT WORTH & WESTERN RAILROAD	6300 RIDGLEA PLACE STE 1200	FORT WORTH TX		76116-5738
R000075735	0 N US377 (OFF)	FORT WORTH & WESTERN RAILROAD	6300 RIDGLEA PLACE STE 1200	FORT WORTH TX		76116-5738
R000076680	0 N US281	OLMOS CREEK FARMS, LLC	6800 E FM476	PLEASANTON TX		78064
R000078588	0 CR177	SOUTH TEXAS CEMENT LLC	2202 E NAVIGATION BLVD	CORPUS CHRISTI TX		78402
R000076419	1330 N US281	VIRGIN JAMES	1330 N US 281	STEPHENVILLE TX		76401
R000078589	0 HIFAM PARK ROAD	WYGANT PROPERTIES LILIMITED PARTNERSHIP	5492 TILBURY DR	HOUSTON TX		77056