



Planning & Zoning Commission Regular Meeting

Wednesday, March 19, 2025, 5:30 PM
City Hall Council Chambers
298 W Washington
Stephenville, Texas 76401

AGENDA

CALL TO ORDER

CITIZENS GENERAL DISCUSSION

APPROVAL OF MINUTES

1. Consider Approval of February 19, 2025 Meeting Minutes

REGULAR AGENDA

2. **Case No.: RZ2025-008**
Applicant Joel Allen, representing Pecan Landing, LLC., is requesting a rezone of property located at 0 Forest Ln, Parcel R77510, being 36.765 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas from (PD), Planned Development, to (R-2.5), Integrated Housing.
3. **PUBLIC HEARING**
Case No.: RZ2025-008
4. Consider approval of a rezone request for property located at 0 Forest Ln, Parcel R77510, being 36.765 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas from (PD), Planned Development, to (R-2.5), Integrated Housing.
5. **Case No.: RZ2025-009**
Applicant Joel Allen, representing Pecan Landing, LLC., is requesting a rezone of property located at 0 Forest Ln, Parcel R78517, being 7.35 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas from (R-1), Single Family, to (R-2.5), Integrated Housing.
6. **PUBLIC HEARING**
Case No.: RZ2025-009
7. Consider approval of a rezone request for property located at 0 Forest Ln, Parcel R78517, being 7.35 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas from (R-1), Single Family, to (R-2.5), Integrated Housing.
8. **Case No.: PD2024-018**
Applicant Joel Allen, representing Pecan Landing, LLC., is requesting the repeal of Ordinance 2023-0-08 relating to the approval of the Planned Development for 0 Forest Ln, Parcel R77510, being 36.765 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas.
9. **PUBLIC HEARING**
Case No.: PD2024-018
10. Consider approval of the repeal request of City Ordinance 2023-O-08 and will be presenting a Conceptual Plan for a Planned Development of property located at 0 Forest Ln, Parcel R77510, Acres 36.765, and Parcel R78517 Acres 7.35, of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas.

11. **Case No.: RZ2025-010**

Applicant Keith Dowell is requesting rezone of property located at 975 N. McCart, Parcel R28762, being Blk 2, Lot 5 of the S2300 Butler Addition of the City of Stephenville, Erath County, Texas from (R-1), Single Family, to (R-2.5), Integrated Housing.

12. **PUBLIC HEARING**

Case No.: RZ2025-010

13. Consider approval of the rezone request for property located at 975 N. McCart, Parcel R28762, being Blk 2, Lot 5 of the S2300 Butler Addition of the City of Stephenville, Erath County, Texas from (R-1), Single Family, to (R-2.5), Integrated Housing.

ADJOURN

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.



PLANNING AND ZONING COMMISSION MEETING

City Hall Council Chambers, 298 W. Washington
Wednesday, February 19, 2025 at 5:30 PM

MINUTES

The Planning and Zoning Commission of the City of Stephenville, Texas, convened on Wednesday, February 19, 2025 at 5:30 PM in the City Hall Council Chambers, 298 W. Washington, for the purpose of a Planning and Zoning Commission Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

COMMISSIONERS PRESENT: Lisa LaTouche, Chairperson
Tyler Wright
Justin Slawson
Bonnie Terrell
Nick Robinson
Brian Lesley
Paul Ashby
James Stephenson

COMMISSIONERS ABSENT: none

OTHERS ATTENDING: Steve Killen, Director of Development Services
Jacey Wood, Deputy City Secretary

CALL TO ORDER

Chairperson Lisa LaTouche called the meeting to order at 5:30 PM

CITIZENS GENERAL DISCUSSION

No one addressed the commission at this time.

MINUTES

1. Consider Approval of January 15, 2025 Meeting Minutes
MOTION by Brian Lesley, second by Nick Robinson to approve January 15, 2025 Meeting Minutes.
MOTION CARRIED unanimously.

REGULAR AGENDA

2. Case No.: RZ2025-004

Applicant Scott Allen, representing Stephenville Rentals, LLC., is requesting a Rezone for property located at 0. Forest, being Parcel R69044 of the AO515 Motley William Abstract of the City of Stephenville, Erath County, Texas from (R-1), Single-Family Housing, to (R-2.5), Integrated Housing.

Steve Killen, Director of Development Services, presented to the Commission regarding the request for Rezone of property. The intended project has not been determined.

3. PUBLIC HEARING

Case No.: RZ2025-004

Chairperson LaTouche opened the Public Hearing at 5:40PM

Citizen, Cathy Boucher of 863 PR1424, Stephenville Texas 76401, spoke in neither in opposition or support of the request to Rezone the property, Citizen asked if the entire 36 acres around could become student housing with the rezone. Then requested clarification on the zoning descriptions and definition of Conditional Use.

Steve Killen, Director of Development Services, provided the definitions of (R-1) and (R-2.5) zoning and Chairperson LaTouche explained Conditional Use. Citizen, Cathy Boucher, confirmed understanding.

Chairperson LaTouche closed the Public Hearing at 5:42PM

4. Consider approval of a rezone request for property located at 0. Forest, being Parcel R69044 of the AO515 Motley William Abstract of the City of Stephenville, Erath County, Texas from (R-1), Single-Family Housing, to (R-2.5), Integrated Housing.

MOTION by Nick Robinson, second by Justin Slawson to recommend City Council approve the Rezone Request for property located at 0. Forest, being Parcel R69044 of the AO515 Motley William Abstract of the City of Stephenville, Erath County, Texas from (R-1), Single-Family Housing, to (R-2.5), Integrated Housing.

There was discussion between the commissioners.

Voting Yea: Commissioner Tyler Wright, Commissioner Justin Slawson, Chairperson Lisa Latouche, Commissioner Bonnie Terrell, Commissioner Nick Robinson, Commissioner James Stephenson

Voting Nay: Commissioner Brian Lesley

5. Case No.: RZ2025-005

Applicant Scott Allen, representing Stephenville Rentals, LLC., is requesting a Rezone for property located at 0. Forest, being Parcel R72455 of the AO515 Motley William Abstract of the City of Stephenville, Erath County, Texas from (R-2), One-Two Family Housing, to (R-2.5), Integrated Housing.

6. PUBLIC HEARING

Case No.: RZ2025-005

Chairperson LaTouche opened the Public Hearing at 5:49PM

Citizen, Cathy Boucher of 863 PR1424, Stephenville Texas 76401, spoke in neither in opposition or support of request, asked about sewage and other utilities.

Chairperson LaTouche closed the Public Hearing at 5:51PM

7. Consider approval of a rezone request for property located at at 0. Forest, being Parcel R72455 of the AO515 Motley William Abstract of the City of Stephenville, Erath County, Texas from (R-2), One-Two Family Housing, to (R-2.5), Integrated Housing.

MOTION by Tyler Wright, second by Nick Robinson to recommend City Council approve a Rezone for property located at 0. Forest, being Parcel R72455 of the AO515 Motley Willam Abstract of the City of Stephenville, Erath County, Texas from (R-2), One-Two Family Housing, to (R-2.5), Integrated Housing.

Voting Yea: Commissioner Tyler Wright, Commissioner Justin Slawson, Chairperson Lisa Latouche, Commissioner Bonnie Terrell, Commissioner Nick Robinson, Commissioner James Stephenson
Voting Nay: Commissioner Brian Lesley

8. Case No.: RZ2025-006

Applicant Scott Allen, representing Stephenville Rentals, LLC., is requesting a Rezone for property located at 0. Forest, being Parcel R69040, BLK 155, Lot 17 (PT OF) of the S2600 City Addition to the City of Stephenville, Erath County, Texas from (R-2), One-Two Family Housing, to (R-2.5), Integrated Housing.

9. PUBLIC HEARING

Case No.: RZ2025-006

Chairperson LaTouche opened the Public Hearing at 5:52PM

Citizen, Cathy Boucher of 863 PR1424, Stephenville Texas 76401, restated previously shared opinions.

Steve Killen, Director of Development Services, was able to confirm utilities extend to Forest Road.

Chairperson LaTouche closed the Public Hearing at 5:53PM

10. Consider approval of a rezone request for property located at 0. Forest, being Parcel R69040, BLK 155, Lot 17 (PT OF) of the S2600 City Addition to the City of Stephenville, Erath County, Texas from (R-2), One-Two Family Housing, to (R-2.5), Integrated Housing.

MOTION by Justin Slawson, second by Tyler Wright to recommend City Council approve a Rezone for property located at 0. Forest, being Parcel R69040, BLK 155, Lot 17 (PT OF) of the S2600 City Addition to the City of Stephenville, Erath County, Texas from (R-2), One-Two Family Housing, to (R-2.5), Integrated Housing.

Voting Yea: Commissioner Tyler Wright, Commissioner Justin Slawson, Chairperson Lisa Latouche, Commissioner Bonnie Terrell, Commissioner Nick Robinson, Commissioner James Stephenson
Voting Nay: Commissioner Brian Lesley

11. Case No.: RZ2025-007

Applicant Colby Pack, representing Solid Ace Holdings, LLC., is requesting a Rezone for property located at 1350 W. Cage, being Parcel R33659, BLK 23, Lot 3B of the S6200 South Side Addition to the City of Stephenville, Erath County, Texas from (R-3), Multifamily Residential, to (R-2.5), Integrated Housing.

12. PUBLIC HEARING

Case No.: RZ2025-007

Chairperson LaTouche opened the Public Hearing at 5:57PM

No one spoke in opposition or in support of the request.

Chairperson LaTouche closed the Public Hearing at 5:57PM

13. Consider approval of a rezone request for property located at 1350 W. Cage, being Parcel R33659, BLK 23, Lot 3B of the S6200 South Side Addition to the City of Stephenville, Erath County, Texas from (R-3), Multifamily Residential, to (R-2.5), Integrated Housing.

MOTION by James Stephenson, second by Nick Robinson to recommend the City Council approve a Rezone for property located at 1350 W. Cage, being Parcel R33659, BLK 23, Lot 3B of the S6200 South

Side Addition to the City of Stephenville, Erath County, Texas from (R-3), Multifamily Residential, to (R-2.5), Integrated Housing. Motion carried unanimously.

14. Discussion of B-2 Zoning Permitted and Conditional Uses

Director of Development Services, Steve Killen, presented as follows:

On June 18, 2024, the Committee held preliminary discussions regarding this topic and opted to request staff conduct further research. The following options were presented to the Committee on July 16, 2024, for consideration. The Committee, by unanimous vote, opted to take no further action. On August 6, 2024, the Committee reported to the City Council and the recommendation was accepted.

The Development Services Committee revisited this item during the November, 2024 meeting. The Committee directed staff to prepare a draft revision to the land use regulations for the B-2, Retail and Commercial District, that would allow Auto Paint and Body Shop/Repair as a "Conditional Use."

On January 21, 2025, the Committee reviewed the proposed revisions and by a unanimous vote, opted to proceed with the proposed revisions of the land use regulations. The Planning and Zoning Commission is now charged with reviewing the proposed revisions, holding a public hearing and making a recommendation to the City Council for action.

15. **Public Hearing for Proposed Revisions**

Chairperson LaTouche opened the Public Hearing at 6:11PM

No one spoke in opposition or in support of the request.

Chairperson LaTouche closed the Public Hearing at 6:11PM

16. Consider Approval of Proposed Revisions of the "Zoning Ordinance of the City of Stephenville" Relating to Conditional Uses

MOTION by Nick Robinson, second by James Stephenson to recommend City Council approve Proposed Revisions of the "Zoning Ordinance of the City of Stephenville" Relating to Conditional Uses.

Voting Yea: Commissioner Tyler Wright, Commissioner Justin Slawson, Chairperson Lisa Latouche, Commissioner Bonnie Terrell, Commissioner Nick Robinson, Commissioner James Stephenson

Voting Nay: Commissioner Justin Slawson, Commissioner Brian Lesley

ADJOURN at 6:14PM

APPROVED:

ATTEST:

Lisa LaTouche, Chair

Jan Strahan, Commission Secretary

STAFF REPORT

SUBJECT: Case No.: RZ2025-008

Applicant Joel Allen, representing Pecan Landing, LLC., is requesting a rezone of property located at 0 Forest Ln, Parcel R77510, being 36.765 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas from (PD), Planned Development, to (R-2.5), Integrated Housing.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

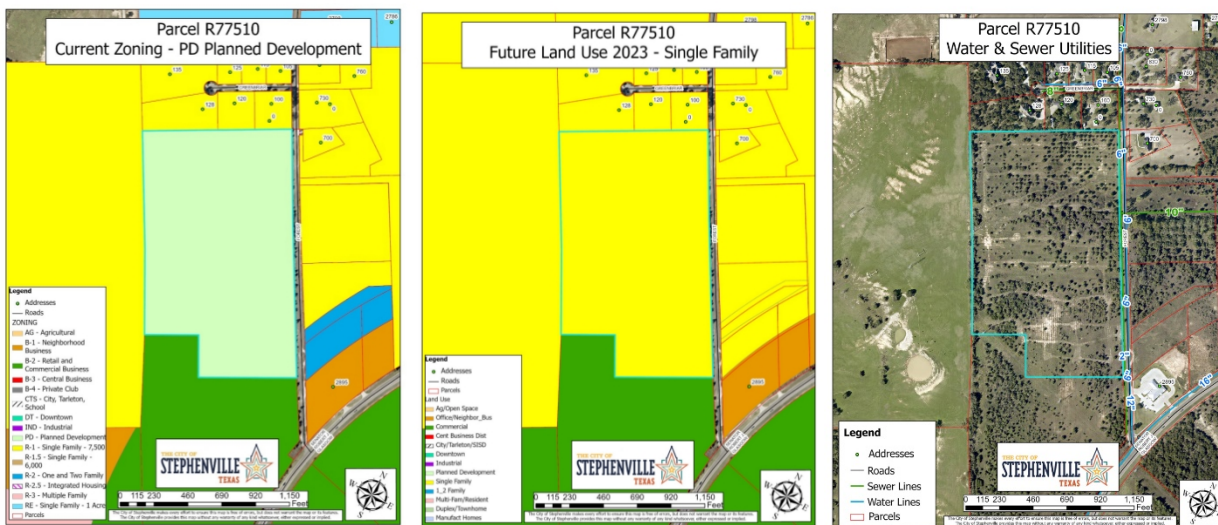
RECOMMENDATION:

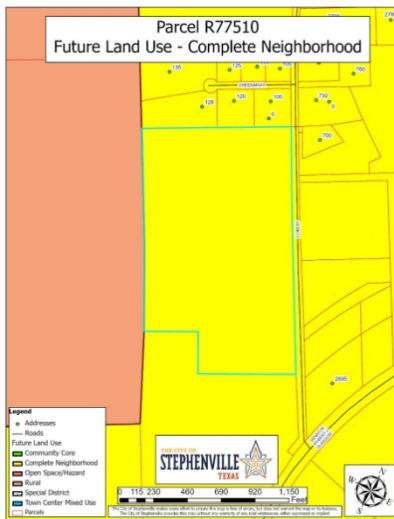
To provide the City Council a recommendation on the request.

BACKGROUND:

In 2023, Mr. Allen presented a Development Plan and a rezone request to Planned Development. The request was granted and ordinance 2023-O-08 was adopted. Mr. Allen's project design has evolved and consequently, he is requesting a rezone to R-2.5. If the rezone is approved, the original Planned Development will need to be repealed.

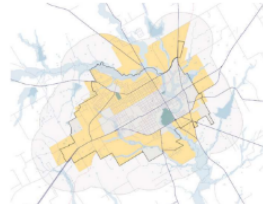
PROPERTY PROFILE:





Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



Sec. 154.05.8 Integrated housing district (R-2.5).

5.8.A Description. This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

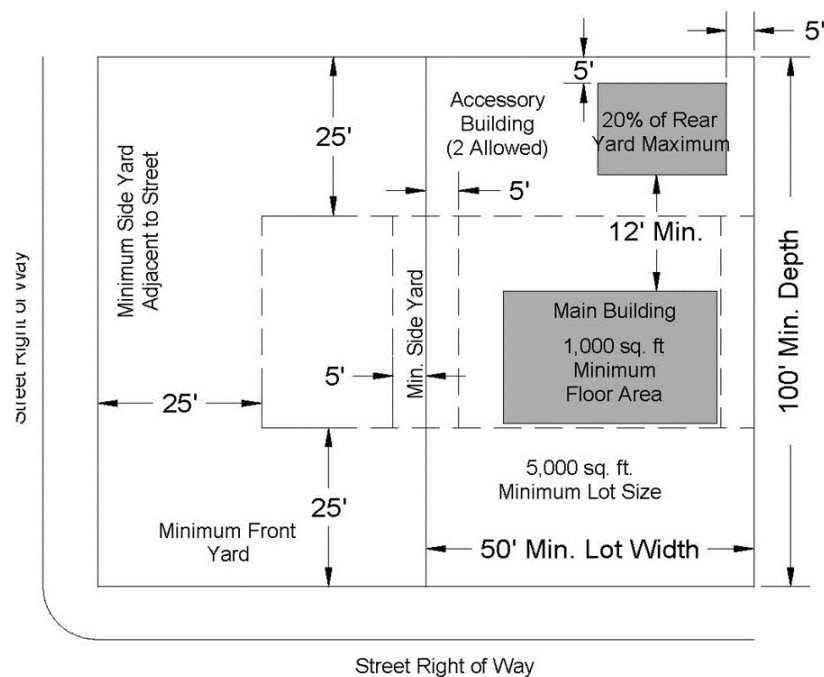
5.8.C Conditional Uses.

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

5.8.D Height, Area, Yard and Lot Coverage Requirements.

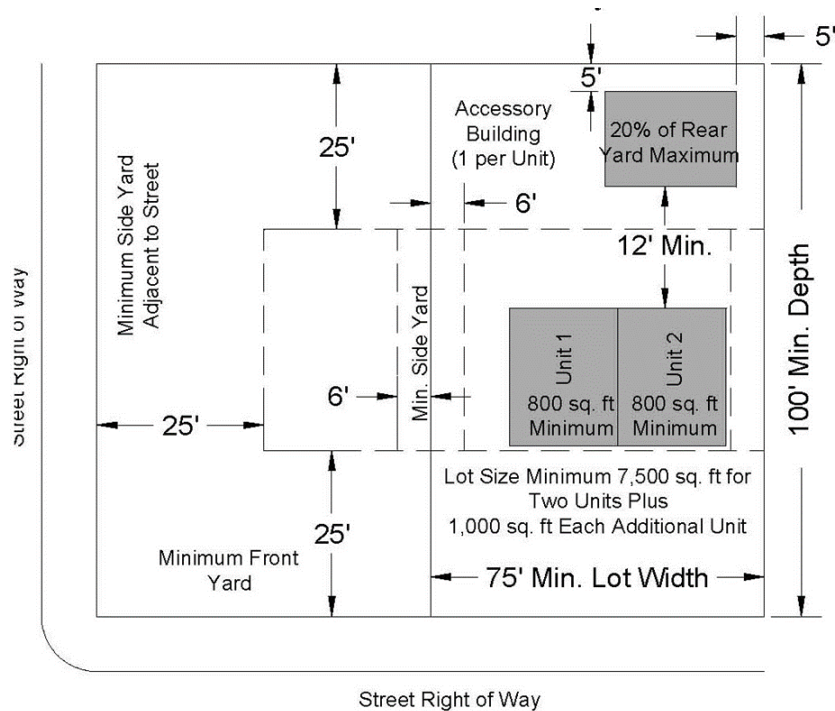
- A. Single family dwelling.

1. Minimum lot area: 3,000 ft².
2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Single family dwelling: 1,000 ft².
8. Accessory buildings:
 - a. Maximum accessory buildings coverage of rear yard: 20%.
 - b. Maximum number of accessory buildings: one.
 - c. Minimum depth of side setback: five feet.
 - d. Minimum depth of rear setback: five feet.
 - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: six feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Minimum area of each dwelling unit: 800 ft².
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



c. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft² per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum building coverage as a percentage of lot area: 40%
 - b. Minimum area of each Townhouse dwelling unit: 800 ft².
 - c. Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

5.8.EParking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11*Parking spaces for*

vehicles of this ordinance. (Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

ALTERNATIVES:

- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

STAFF REPORT

SUBJECT: Case No.: RZ2025-009

Applicant Joel Allen, representing Pecan Landing, LLC., is requesting a rezone of property located at 0 Forest Ln, Parcel R78517, being 7.35 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas from (R-1), Single Family, to (R-2.5), Integrated Housing.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

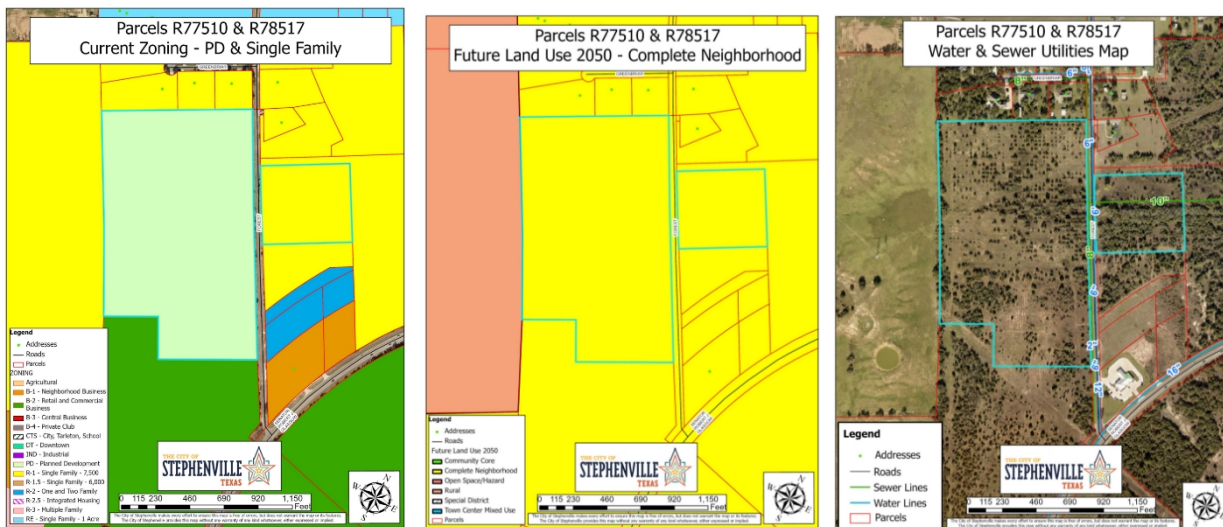
RECOMMENDATION:

To provide the City Council a recommendation on the request.

BACKGROUND:

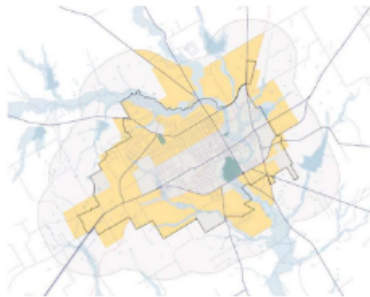
This parcel will be developed in conjunction with the development Mr. Allen is pursuing for the 36 acre parcel that was originally approved as a Planned Development.

PROPERTY PROFILE:



Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



Sec. 154.05.8 Integrated housing district (R-2.5).

5.8.A Description. This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

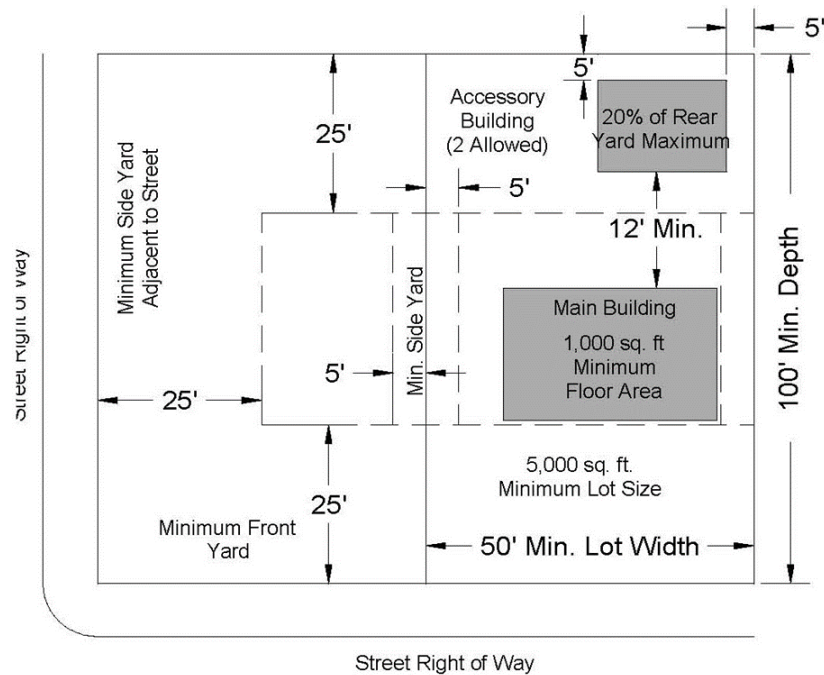
5.8.C Conditional Uses.

1. Home occupation;

2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

5.8.D Height, Area, Yard and Lot Coverage Requirements.

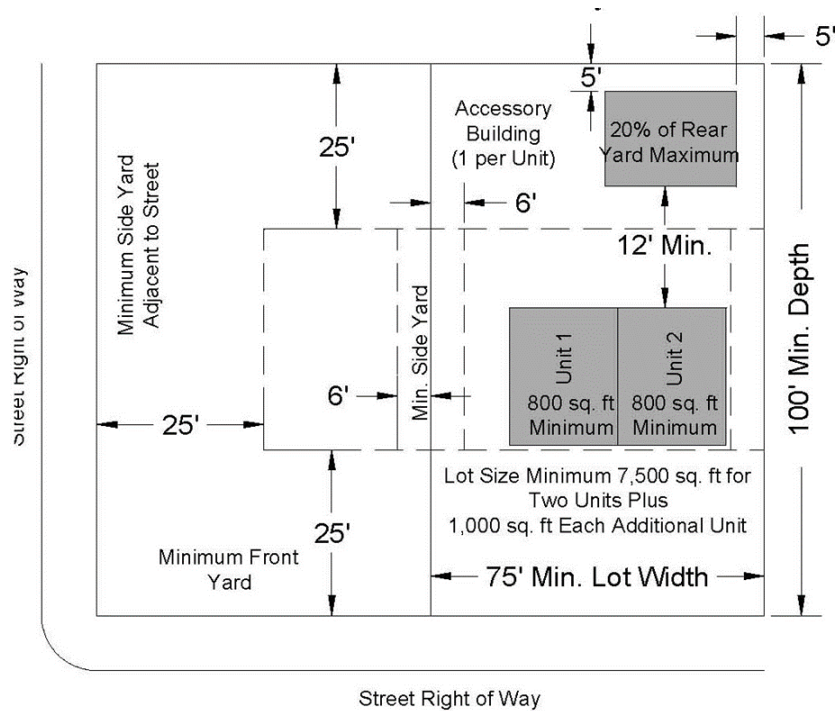
- A. Single family dwelling.
 1. Minimum lot area: 3,000 ft².
 2. Minimum lot width and lot frontage: 50 feet.
 3. Minimum lot depth: 60 feet.
 4. Minimum depth of front setback: 15 feet.
 5. Minimum depth of rear setback: 15 feet.
 6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
 7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Single family dwelling: 1,000 ft².
 8. Accessory buildings:
 - a. Maximum accessory buildings coverage of rear yard: 20%.
 - b. Maximum number of accessory buildings: one.
 - c. Minimum depth of side setback: five feet.
 - d. Minimum depth of rear setback: five feet.
 - e. Minimum depth from the edge of the main building: 12 feet.
 9. Maximum height of structures: 35 feet.
 10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



B. Two-to-four family.

1. Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
2. Minimum lot width and lot frontage: 75 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: six feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Minimum area of each dwelling unit: 800 ft².
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if

the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



c. Townhouse/Condominium.

1. Minimum lot area: 3,000 ft² per unit.
2. Minimum average lot width and lot frontage: 30 feet.
3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum building coverage as a percentage of lot area: 40%
 - b. Minimum area of each Townhouse dwelling unit: 800 ft².
 - c. Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.

9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

5.8.EParking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11*Parking spaces for*

vehicles of this ordinance. (Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

ALTERNATIVES:

- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

STAFF REPORT

SUBJECT: Case No.: PD2024-018

Applicant Joel Allen, representing Pecan Landing, LLC., is requesting the repeal of Ordinance 2023-0-08 relating to the approval of the Planned Development for 0 Forest Ln, Parcel R77510, being 36.765 acres of the A0515 MOTLEY WILLIAM Abstract of the City of Stephenville, Erath County, Texas.

DEPARTMENT: Development Services

STAFF Steve Killen, Director of Development Services

CONTACT:

RECOMMENDATION:

The Commission is requested to make a recommendation to the City Council relating to the repeal of Ordinance 2023-O-08.

BACKGROUND:

This parcel will be developed under straight zoning and land use regulations of the R-2.5 zoning district if the rezone request is approved.

ALTERNATIVES:

- 1) Recommend the City Council repeal the Planned Development.
- 2) Recommend the City Council deny the request to repeal the Planned Development.

STAFF REPORT



SUBJECT: Case No.: RZ2025-009

Applicant Kieth Dowell is requesting rezone of property located at 975 N. McCart, Parcel R28762, being Blk 2, Lot 5 of the S2300 Butler Addition of the City of Stephenville, Erath County, Texas from (R-1), Single Family, to (R-2.5), Integrated Housing.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

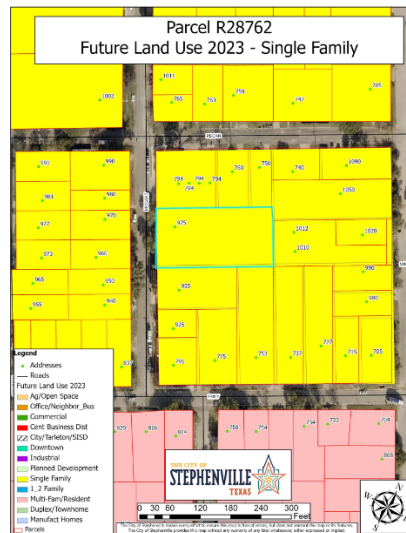
RECOMMENDATION:

To provide the City Council with a recommendation for the rezone request.

BACKGROUND:

The intended project is to allow for the replat creating a two-lot subdivision. The single-family home will remain in place and a four-unit structure will be constructed on the new lot created by the replat.

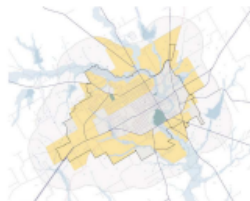
PROPERTY PROFILE:





Complete Neighborhood

The Complete Neighborhood land use accommodates a mix of uses at a moderate density. A mix of housing types is encouraged to accommodate a range of residents. Local retail and service businesses are located on active corridors and parks and green spaces are integrated within the district.



Sec. 154.05.8 Integrated housing district (R-2.5).

5.8.A Description. This integrated residential housing district provides for medium-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, patio homes, condominiums and townhomes. Generally, this district is for developments resulting in individually platted homes or dwelling units and generally, owner occupied. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the aesthetic and functional well-being of the intended district environment. The Integrated Housing District will be applicable to all Residential Districts, B-1 Neighborhood Business District (B-1), Central Business District (B-3), and Downtown District (DT).

5.8.B Permitted Uses.

1. Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals.
2. Two-to-four family dwellings, with each family limited as in division (1) above;
3. Townhouse dwellings, with each family limited as in division (1) above;
4. Condominium dwellings, with each family limited as in division (1) above;

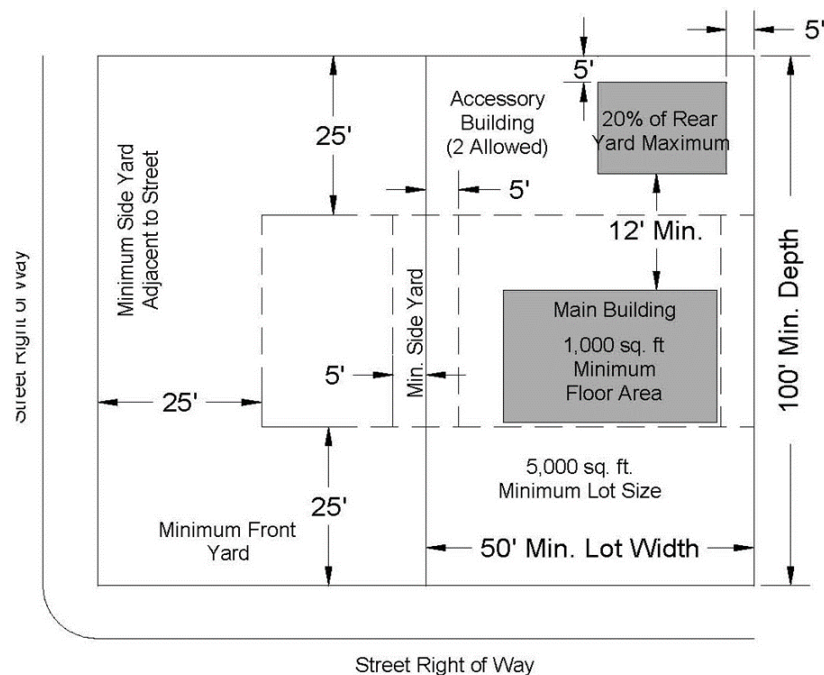
5.8.c Conditional Uses.

1. Home occupation;
2. Common facilities as the principal use of one or more platted lots in a subdivision;
3. Adult and/or children's day care centers;
4. Foster group home; and
5. Residence hall.

5.8.D Height, Area, Yard and Lot Coverage Requirements.

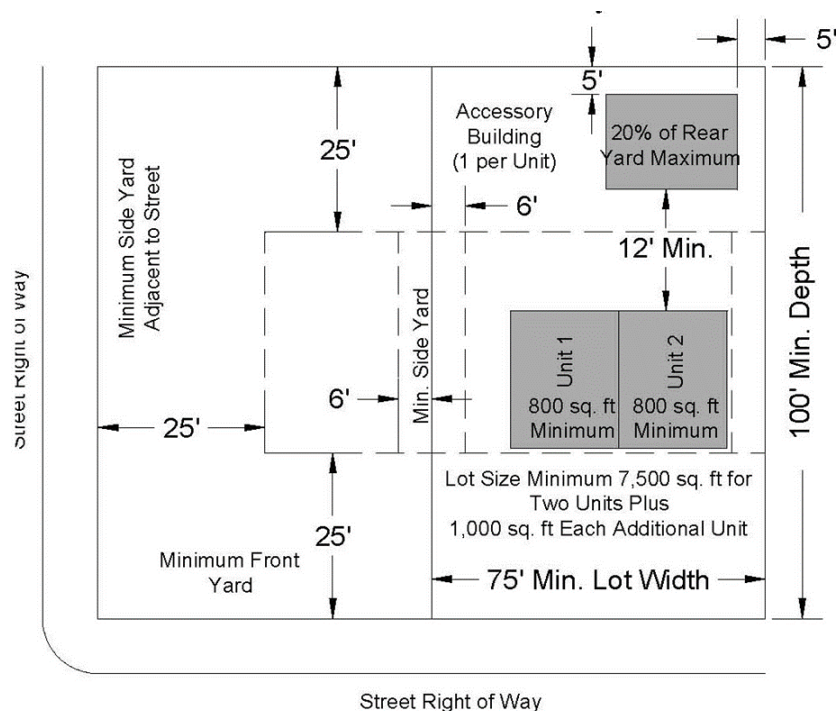
- A. Single family dwelling.
 1. Minimum lot area: 3,000 ft².

2. Minimum lot width and lot frontage: 50 feet.
3. Minimum lot depth: 60 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Single family dwelling: 1,000 ft².
8. Accessory buildings:
 - a. Maximum accessory buildings coverage of rear yard: 20%.
 - b. Maximum number of accessory buildings: one.
 - c. Minimum depth of side setback: five feet.
 - d. Minimum depth of rear setback: five feet.
 - e. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



- B. Two-to-four family.
1. Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
 2. Minimum lot width and lot frontage: 75 feet.

3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: six feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum coverage as a percentage of lot area: 40%.
 - b. Minimum area of each dwelling unit: 800 ft².
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



- c. Townhouse/Condominium.
 1. Minimum lot area: 3,000 ft² per unit.
 2. Minimum average lot width and lot frontage: 30 feet.

3. Minimum lot depth: 100 feet.
4. Minimum depth of front setback: 15 feet.
5. Minimum depth of rear setback: 15 feet.
6. Minimum width of side setback:
 - a. Internal lot: five feet.
 - b. Corner lot: 15 feet from intersecting side street.
7. Building size:
 - a. Maximum building coverage as a percentage of lot area: 40%
 - b. Minimum area of each Townhouse dwelling unit: 800 ft².
 - c. Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
8. Accessory buildings:
 - a. Maximum accessory building coverage of rear yard: 20%.
 - b. Maximum area of each accessory building: 200 ft².
 - c. Maximum number of accessory buildings: one per unit.
 - d. Minimum depth of side setback: five feet.
 - e. Minimum depth of rear setback: five feet.
 - f. Minimum depth from the edge of the main building: 12 feet.
9. Maximum height of structures: 35 feet.
10. Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.
11. Maximum density of Townhome or Condominium Housing within the R-2.5 District shall not exceed 14 units per acres with each unit platted separately.
12. Deviations from the required standards within the R-2.5 district will be subject to site plan review by the Planning and Zoning Commission and subsequent approval by City Council. Site plans should include renderings with elevations, a finish schedule and incorporate architectural designs that complement the existing structures of the area of integration.

5.8.EParking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles* of this

ordinance. (Ord. No. 2021-O-28 , § 1, passed 9-7-2021)

FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use

- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve.

ALTERNATIVES:

- 1) Recommend the City Council approve the rezone request.
- 2) Recommend the City Council deny the rezone request.

SURVEY PLAT

LEGEND:

AC.....Air Conditioning Unit
EM.....Electric Meter
FCP.....Fence Corner Post
GM.....Gas Meter
IRF.....Iron Rod Found
MB.....Mailbox
NCF.....5/8" Capped Iron Rod Found Marked "NATIVE CO. LLC"
OE.....Overhead Electric
PFC.....Point for Corner
PP.....Power Pole
WM.....Water Meter
O.P.R.E.C.T.....Official Public Records, Erath County, Texas
Chain Link Fence..
Wire Fence.....
Overhead.....

NOTES:

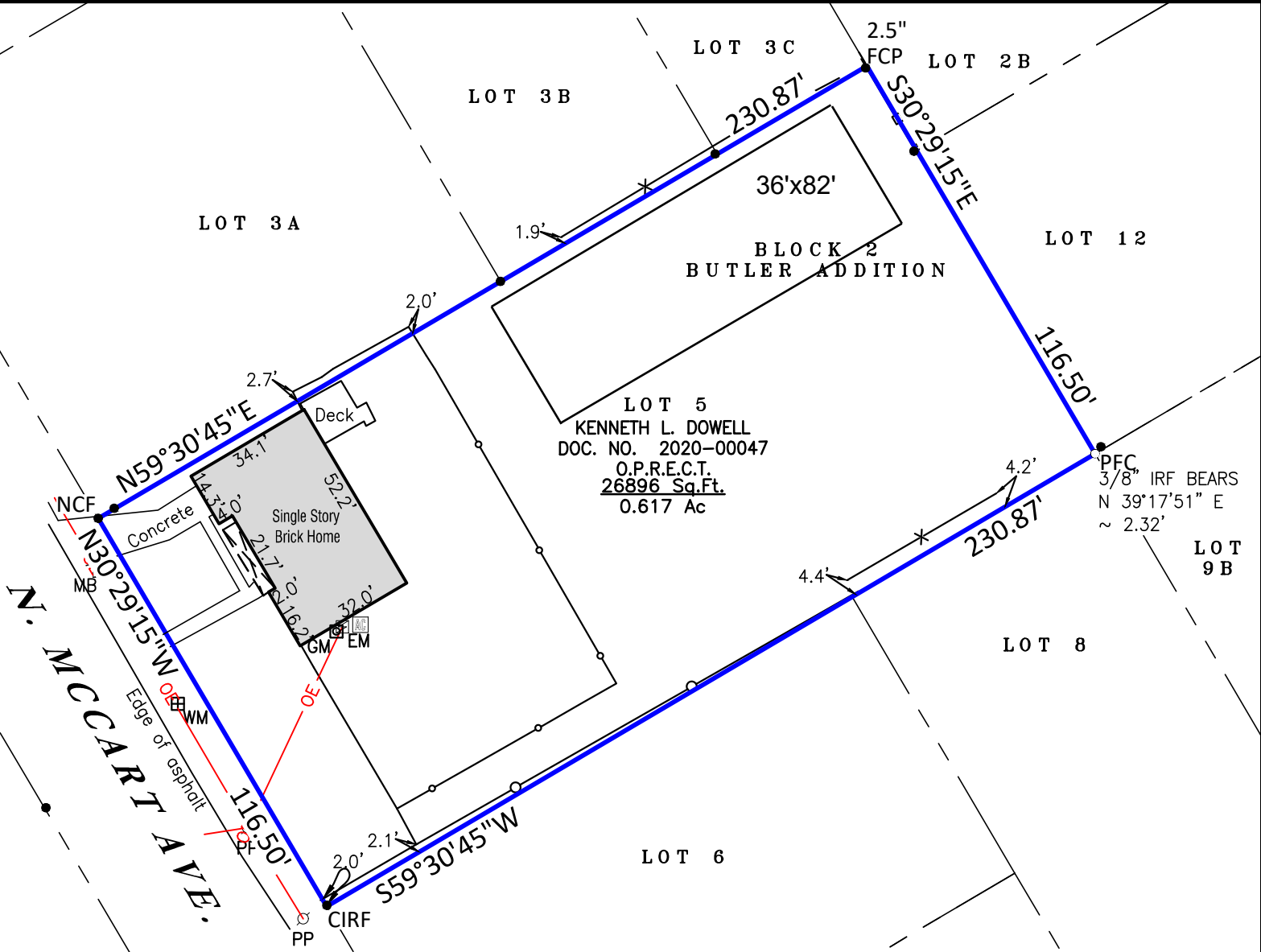
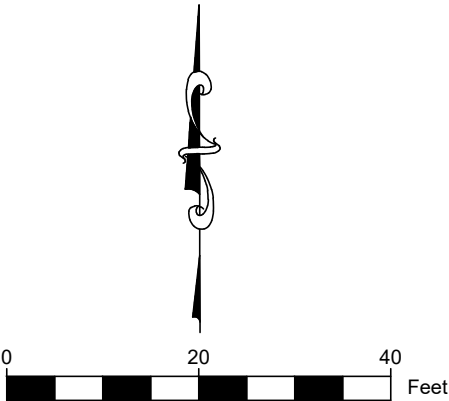
- 1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
- 2. According to the scaled location of FEMA Firm Map No. 48143C0430D, effective date November 16, 2011, the subject property lies within Zone X - Areas determined to be outside the 0.2% chance annual flood.

LEGAL DESCRIPTION:

Being all of Lot 5, Block 2, Butler Addition, an addition to the City of Stephenville, Erath County, Texas, as shown by King's 1956 Map of the City of Stephenville, as recorded in Volume 381, Page 105, Deed Records, Erath County, Texas.



P.O. Box 2465 Stephenville, Tx 76401
zane@nativelandsurveying.com ~ 254-434-6695
TBPELS Firm No. 10194572



SURVEYOR'S CERTIFICATION

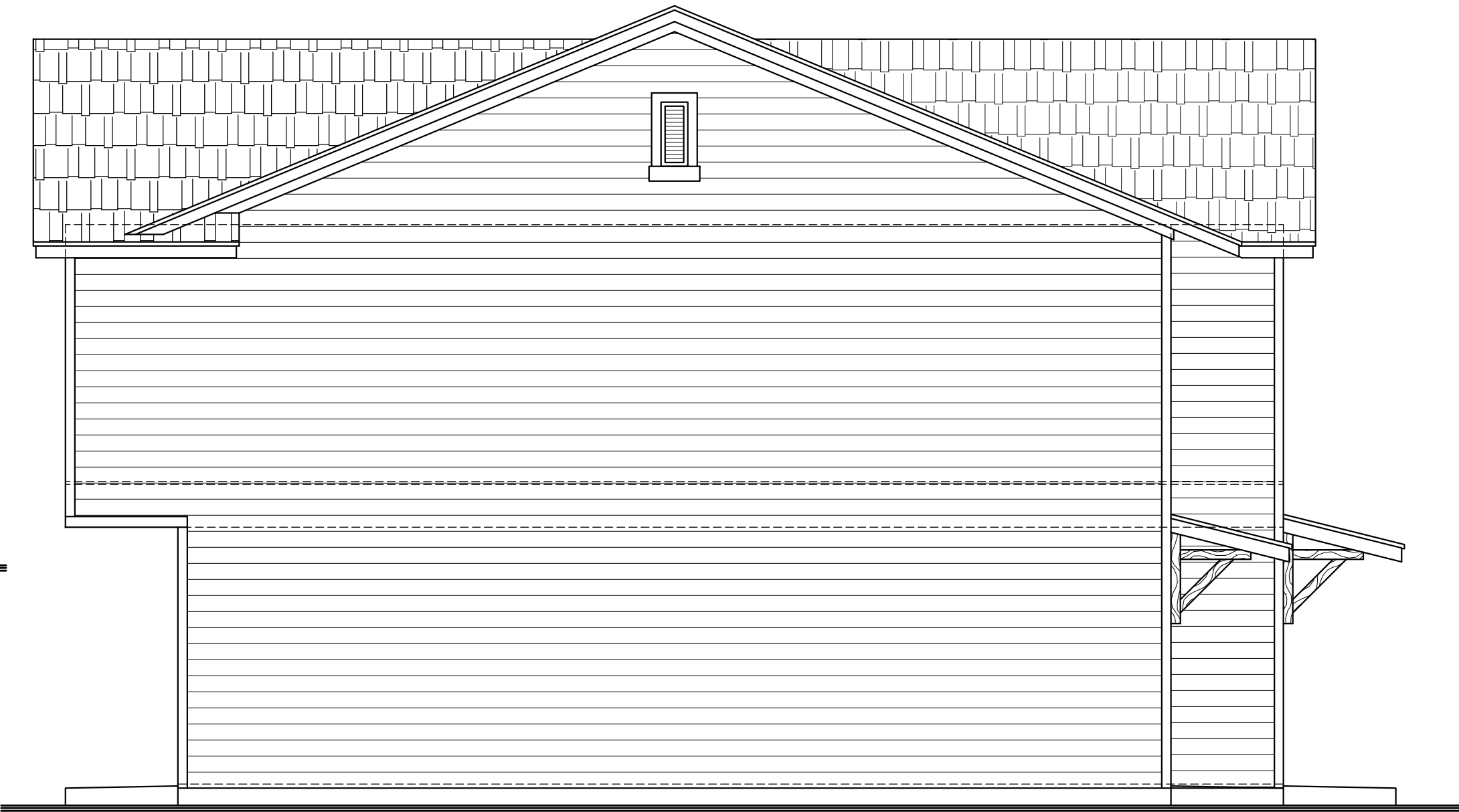
I, N. Zane Griffin, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby declare that this survey is true and correct and was prepared from an actual survey made under my supervision on the ground.

[Signature]
N. Zane Griffin, RPLS No. 6810
Date: March 5, 2024





REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

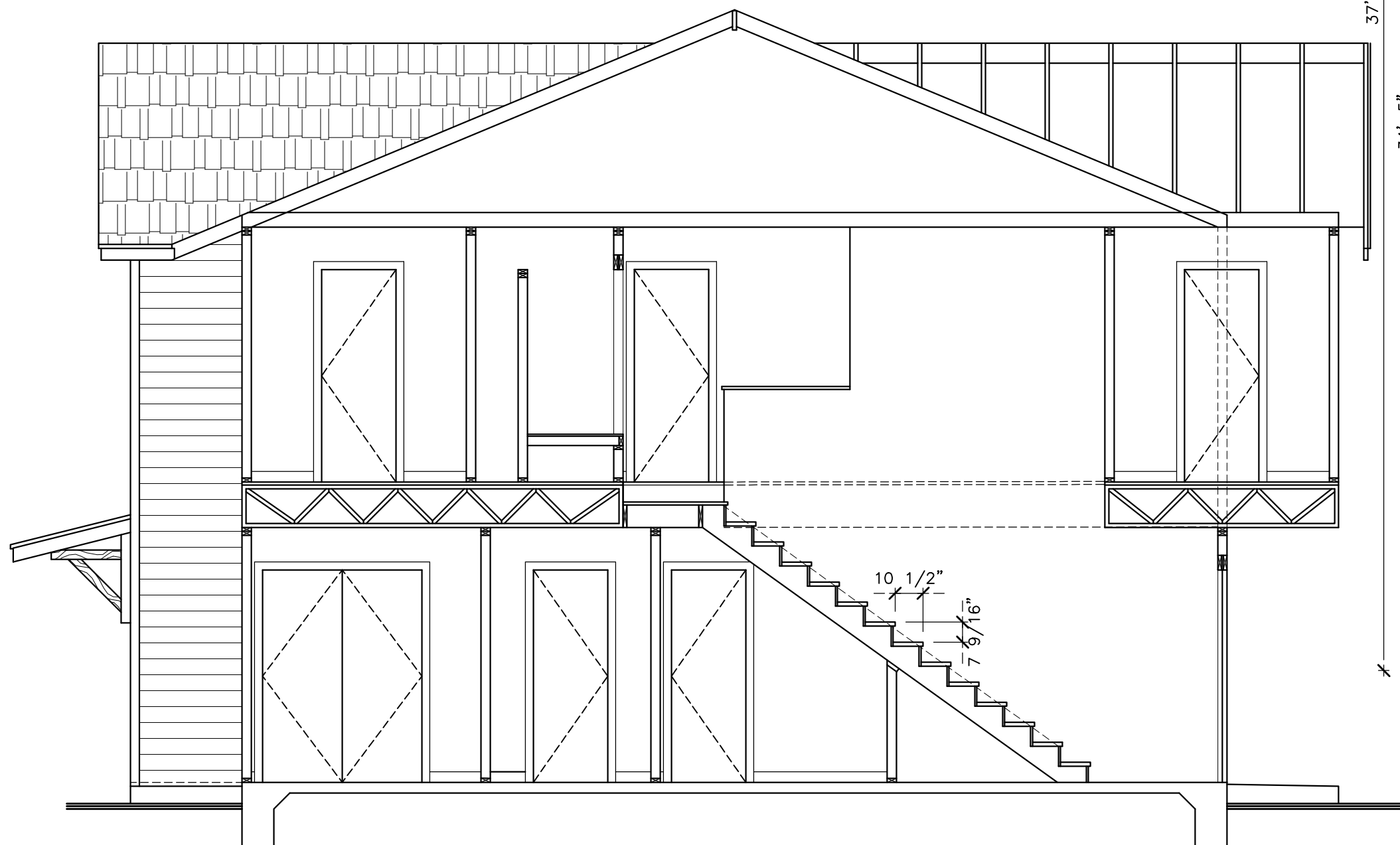
DOOR SCHEDULE:

MK.	DOOR SIZE	DOOR DESCRIPTION
1	3'-0" X 6'-8" X 1 3/4"	ENTRY DOOR
2	3'-0" X 6'-8" X 1 3/4"	3/4 GLASS DOOR
3	2'-8" X 6'-8" X 1 3/8"	INTERIOR DOOR
4	2'-6" X 6'-8" X 1 3/8" DBL.	INTERIOR DOUBLE DOOR
5	2'-4" X 6'-8" X 1 3/8"	INTERIOR DOOR
6	2'-4" X 5'-2" X 1 3/8" A/C	INTERIOR A/C CLOSET DOOR

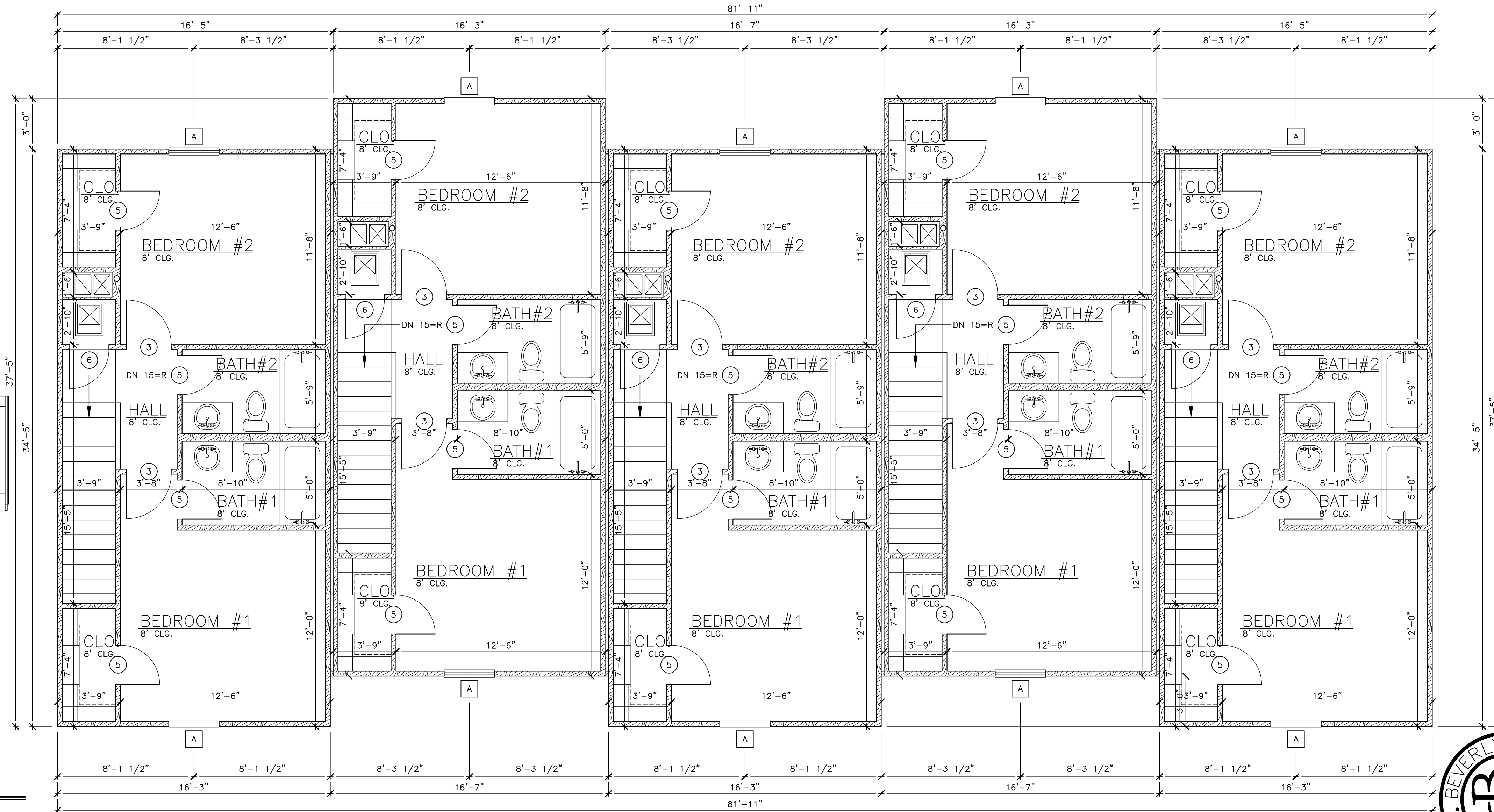
WINDOW SCHEDULE:

MK.	WINDOW SIZE	OPERATION	GLAZING	FRAME
A	3'-0" X 6'-0"	SINGLE HUNG	LOW E INSULATED	AS SELECTED BY OWNER

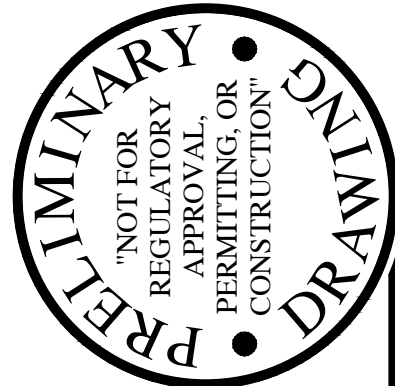
TEMPERED SAFETY GLAZING IS REQUIRED IN ALL OF THE FOLLOWING THREE LOCATIONS.
1. GLAZING IN SWINGING, SLIDING, STORM, AND SHOWERS.
2. GLAZING ADJACENT TO AND WITHIN 24" OF A DOOR
3. GLAZING THAT MEETS ALL THE FOLLOWING CONDITIONS...INDIVIDUAL PANE OF GLAZING GREATER THAN 9 SQ.FT. & BOTTOM EDGE LESS THAN 18" ABOVE FLOOR & TOP EDGE GREATER THAN 36" ABOVE FLOOR & WALKING SURFACE WITHIN 36" OF GLAZING.



SCHEMATIC SECTION
SCALE: 1/4"=1'-0"



2ND. FLOOR PLAN
SCALE: 1/4"=1'-0"



TOWNHOME APARTMENTS DESIGNED FOR
POWELL PROPERTIES
STEPHENVILLE, TEXAS 76401
john@jgarch.com

ARCHITECT
JOHN G. BEVERLY
P.O. BOX 1990
STEPHENVILLE, TEXAS 76401
(254) 396-9999 M.

JOHN G. BEVERLY
P.O. BOX 1990
STEPHENVILLE, TEXAS 76401
(254) 396-9999 M.

DRAWINGS THIS SHEET:
2ND. FLOOR PLAN
REAR & RIGHT ELEVATIONS
SECTION, DOOR & WINDOW SCHEDULES

JOB NUMBER: 24C10
SHEET NO: A-2
START DATE: 8/28/24
REVISED: 10/8/24
DRAWN BY: J.G.B.
OF: -

